

ADDENDUM #2

Addendum Number: 002

Date: December 9, 2020
Prepared By: Brian Kronewitter
Cordogan Clark

RE: KCy Mill Creek Retaining Wall
CCA Project No.: 20380

To: Prospective Bidders

Subject: Addendum No. 002 to the Construction Documents for the KC Retaining Wall & Asphalt Path Repair Project.

This Addendum forms a part of the Construction Documents and modifies the original Construction Documents, dated November, 2020. Acknowledge receipt of this Addendum in space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

THE FOLLOWING ITEMS ARE TO BE INCLUDED IN THE PROPOSAL.

Clarifications:

1. The Pre-Bid Meeting is not to be considered a MANDATORY MEETING.
2. See attached Agenda and Sign-in Sheets from the Pre Bid Meeting.
3. The award of the Contract is anticipated to be at the February 2021 Board Meeting.
4. The Retaining Wall basis of design is a Uni-Lock Pisa 2 System. All Uni-lock standard specifications for this system apply.
5. SCOPE OF WORK CLARIFICATIONS:
 - a. Landscape/Retaining Wall Contractor shall provide all earthwork, grading, stone for the retaining wall structure, retaining wall structure, backfill and split rail fence removal and re-install and landscape restoration. Landscape/Retaining Wall Contractor shall include any topsoil and seeding restoration for a 2 foot strip along the both edges of the new Asphalt walk for the entire 50' length of the new paving.
 - b. Asphalt Path Paving Contractor shall remove existing path to stone sub-base for the 50' +/- of the entire retaining wall construction so Landscape/Retaining Wall Contractor can install the retaining wall. Upon completion of the Retaining Wall, Asphalt Contractor shall reinstall new asphalt pavement to match existing path construction depth (4" +/-). Any existing grass damage caused by the Asphalt Contractor beyond the 2' strip on each side of the asphalt path caused by the Asphalt Contractor will be the responsibility of the Asphalt Contractor.
 - c. The existing split rail wood fence can be re-used IF it is not damaged during removal at the Landscape/Retaining Wall Contractor's discretion. Condition of the fence will be evaluated prior to removal by the AE/CM and Owner.

End Of Addendum No. 002

Kane County Retaining Wall & Path Renovation Project

Pre-bid Conference – December 8, 2020, 2:00 PM

Discussion Items

Page 1

1) BIDDING REQUIREMENTS:

- a) Bids are due December 15, 2020 at 2:00 PM at the Kane County Purchasing Department, Building A, Room 211, 212 or 214, 719 S. Batavia Ave., Geneva, IL.
- b) 5% Bid Bond or Cashier's Check made payable to Kane County Treasurer is required with the sealed bid. Money Orders or Company checks will not be accepted. 100% Performance & Payment Bonding Required
- c) Offer to Contract Bid Forms must be completely filled out (typewritten or in ink) and fully attached. Complete Relevant Experience Verification Form in whole. The Offer to Contract Bid Form shall be submitted, in triplicate with **ONE ORIGINAL (CLEARLY MARKED), TWO COPIES (CLEARLY MARKED)**.
- d) This Project is exempt from Taxes.
- e) Each bidder shall carefully examine all bid documents and all addenda thereto, and shall thoroughly familiarize themselves with the detailed requirements thereof prior to submitting a proposal. Should a bidder find discrepancies or ambiguities in, or omissions from documents, or should they be in doubt as to their meaning, they shall, at once, and in any event, not later than 72 hours prior to bid due date, notify the County of Kane, who will, if necessary, send written addendum to all bidders. The County of Kane shall not be responsible for any oral instructions. After sealed bids are received, the bidder will make no allowance for oversight.
- f) Contractor Qualifications – AIA A-305 Contractor Qualification Form must be filled out in its entirety and duly executed.
- g) Owner may deny qualification if it finds one or more of the following:
 - i) The Prospective Bidder does not have sufficient financial capacity to perform the Work.
 - ii) The Prospective Bidder does not have the appropriate experience or reputation to perform the Work, including, but not limited to, having met the experience or reputation criteria set forth herein.
 - iii) The Prospective Bidder or any officer, director, or owner thereof has had judgments entered against him within the past five years for the breach of contracts for governmental or nongovernmental construction work including, but not limited to, design-build or construction management contracts.
 - iv) The Prospective Bidder has been in substantial noncompliance with the terms and conditions of prior construction with Owner, or in documented substantial noncompliance with the terms and conditions of prior construction with another public body without good cause.
 - v) The Prospective Bidder or any officer, director, owner, or chief financial official thereof has been convicted within the past 10 years of a crime related to governmental or nongovernmental construction or contracting.
 - vi) The Prospective Bidder or any officer, director, or owner thereof is currently debarred pursuant to an established debarment procedure from bidding or contracting by any public body, agency of another state, or agency of the Federal Government.
 - vii) The Prospective Bidder failed to provide to the public body in a timely manner any information required by the public body relevant to the six preceding subparagraphs.
 - viii) The Prospective Bidder provides false, nonresponsive, misleading, or incomplete information for items required herein.
- h) Insurance Requirements as noted in the Specifications.
- i) This is a Prevailing Wage Project – Rates included in the Specs
- j) Evaluation Criteria for Award:

Kane County Retaining Wall & Path Renovation Project

Pre-bid Conference – December 8, 2020, 2:00 PM

Discussion Items

Page 2

- i) The ability, capacity and skill of the bidder to perform services or provide the goods required.
 - ii) Whether the bidder can perform the contract or provide the service promptly, or within the time specified, without delay or interference.
 - iii) The character, integrity, reputations, judgment, experience and efficiency of the bidder.
 - iv) The quality of performance of previous contracts or services.
 - v) The previous and existing compliance by the bidder with laws and ordinances relating to the contract or service.
 - vi) The sufficiency of the financial resources and ability of the bidder to perform the contract or provide the service.
 - vii) The quality, availability and adaptability of the supplies, or services to the particular use required by the Owner.
 - viii) The combination of the base bid & defined alternates plus potential acceptable alternates will become part of the matrix to define the lowest responsive & responsible bidder, along with the defined evaluation criteria in the bid documents. Provide adequate information related to the Value Engineering voluntary alternates so they can be properly evaluated.
 - k) Award of the Bid is expected to occur at the February 2021 County Board Meeting
 - l) AIA General Conditions of the Contract Sample included in the Specifications
- 2) SCHEDULE DEVELOPMENT:
- a) Project Logistics & Schedule: (Notice to Proceed estimated date: March 3, 2021
 - i) Project Start Date: April 2, 2021
 - ii) Substantial Completion Date: May 30, 2021
 - b) Logistics:
 - i) All work shall be performed during normal working hours unless disruptive activities create significant issues, upon which the Contractor, CM and Owner shall discuss options to reduce disruptions. If such activities arise, the contractor shall coordinate completion of those activities with the Owner and Architect/CM. Weekend hours must be coordinated with the Owner and Architect/CM.
 - ii) All contractors will be required to collaborate with the Owner and Architect/CM in developing and maintaining the Master Schedule. Contractors will provide schedule information in a timely manner so that the work of other trades can progress without delay or interruption.
- 3) SCOPE OF WORK:
- a) Landscape/Retaining Wall Contractor shall provide all earthwork, grading, stone for the retaining wall structure, retaining wall structure, backfill and split rail fence removal and re-install and landscape restoration.
 - b) Asphalt Path Paving Contractor shall remove existing path to stone sub-base for the 50' +/- of the entire retaining wall construction so Landscape/Retaining Wall Contractor can install the retaining wall. Upon completion of the Retaining Wall, Asphalt Contractor shall reinstall new asphalt pavement to match existing path construction depth (4" +/-).
- 4) Open Forum for Questions

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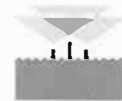
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