



KANE COUNTY

KIOUS, Martin, Berman, Davoust, Ford, Frasz, Gumz &
ex-officios Pierog (County Chair) and Shepro (County
Vice Chair)

ADMINISTRATION COMMITTEE

WEDNESDAY, APRIL 14, 2021

County Board Room

Agenda

10:00 AM

Kane County Government Center, 719 S. Batavia Ave., Bldg. A, Geneva, IL 60134

1. **Call to Order**
2. **Approval of Minutes: February 10, 2021 & March 10, 2021**
3. **Finance Report**
 - A. Monthly Reports (attached)
4. **Public Comment**
5. **Facilities Management**
 - A. Capital Projects Update
 1. Multi-Use Facility Update
 2. Building "B" Lower Roof Replacement
 3. Building "C" Roof Top Units
 4. Coroner's Office Demolition
 5. Fabyan Rd Building Management Office Demolition
 6. Parking Lot Repairs, Seal Coating, Crack Filling
 7. Sidewalk Repairs and Replacement
 8. CARES Act
 9. Building C/IAQ
 - B. **Resolution:** Authorizing Contract for Elevator Modernization Project: Government Center Campus Building "A"
 - C. **Facility Usage:** 2021 Geneva Chambers Festivals
 - D. **Facility Usage:** 2021 CASA HATCH
6. **Information Technology**
 - A. **Discussion:** Forest Preserve Chargebacks
 - B. **Resolution:** Authorizing an Agreement with T-Mobile USA, Inc., for the "Connecting Heroes" Program
 - C. **Resolution:** Authorizing License Agreement with the City of West Chicago
 - D. **Resolution:** Authorizing Easement Agreement with SBA Edge, LLC

7. Mill Creek SSA

- A. **Discussion:** Native Landscape Maintenance RFP
- B. **Discussion:** ADA Sidewalk Project

8. Vehicles**9. Construction**

- 1. **Discussion:** Facilities Master Planning
- 2. **Discussion:** JJC 2nd Courtroom Buildout
- 3. **Resolution:** Authorizing the Buildout of a Second Courtroom at the JJC

10. New Business**11. Old Business****12. Reports Placed On File****13. Executive Session****14. Adjournment**

**Administration Committee Revenue Report - Summary
Through March 31, 2021 (33.3% YTD)**

	Current Month Transactions		Total Amended Budget		YTD Actual Transactions	Total % Received
060 Information Technologies	\$ 183,512	\$	3,368,383	\$	1,538,579	45.68%
001 General Fund	\$ 3,124	\$	1,113,669	\$	513,383	46.10%
101 Geographic Information Systems	\$ 180,388	\$	1,862,131	\$	640,107	34.37%
385 IL Counties Information Mgmt		\$	8,000	\$	0	0.00%
390 Web Technical Services		\$	384,583	\$	385,089	100.13%
080 Building Management	\$ 2,544	\$	50,659	\$	18,984	37.47%
001 General Fund	\$ 2,544	\$	50,659	\$	18,984	37.47%
Grand Total	\$ 186,056	\$	3,419,042	\$	1,557,563	45.56%

Administration Committee Expenditure Report - Summary
Through March 31, 2021 (33.3% YTD, 30.77% Payroll Expense through Pay Period Ending 03/20/2021)

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
060 Information Technologies	\$ 462,309	\$ 6,540,047	\$ 1,958,589	\$ 218,879	33.29%
001 General Fund	\$ 289,026	\$ 4,285,333	\$ 1,181,854	\$ 48,583	28.71%
101 Geographic Information Systems	\$ 82,870	\$ 1,862,131	\$ 611,930	\$ 110,297	38.78%
385 IL Counties Information Mgmt		\$ 8,000	\$ -	\$ -	0.00%
390 Web Technical Services	\$ 90,413	\$ 384,583	\$ 164,805	\$ 60,000	58.45%
080 Building Management	\$ 458,760	\$ 5,604,558	\$ 1,470,763	\$ 4,180	26.32%
001 General Fund	\$ 458,760	\$ 5,604,558	\$ 1,470,763	\$ 4,180	26.32%
Grand Total	\$ 921,069	\$ 12,144,605	\$ 3,429,352	\$ 223,059	30.07%

Administration Committee Expenditure Report - Detail
Through March 31, 2021 (33.3% YTD, 30.77% Payroll Expense through Pay Period Ending 03/20/2021)

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
060 Information Technologies	\$ 462,309	\$ 6,540,047	\$ 1,958,589	\$ 218,879	33.29%
001 General Fund	\$ 289,026	\$ 4,285,333	\$ 1,181,854	\$ 48,583	28.71%
Personnel Services- Salaries & Wages	\$ 220,724	\$ 2,955,340	\$ 864,874	\$ -	29.26%
Personnel Services- Employee Benefits	\$ 41,717	\$ 570,948	\$ 166,581	\$ -	29.18%
Contractual Services	\$ 21,543	\$ 649,395	\$ 123,164	\$ 19,045	21.90%
Commodities	\$ 5,043	\$ 109,650	\$ 27,236	\$ 29,538	51.78%
101 Geographic Information Systems	\$ 82,870	\$ 1,862,131	\$ 611,930	\$ 110,297	38.78%
Personnel Services- Salaries & Wages	\$ 57,649	\$ 759,616	\$ 230,181	\$ -	30.30%
Personnel Services- Employee Benefits	\$ 20,785	\$ 265,060	\$ 82,576	\$ -	31.15%
Contractual Services	\$ 1,194	\$ 657,679	\$ 233,712	\$ 110,297	52.31%
Commodities	\$ 1,262	\$ 38,200	\$ 16,676	\$ 0	43.66%
Capital	\$ 1,980	\$ 99,272	\$ 6,480	\$ -	6.53%
Transfers Out	\$ -	\$ 42,304	\$ 42,304	\$ -	100.00%
385 IL Counties Information Mgmt	\$ -	\$ 8,000	\$ -	\$ -	0.00%
Contractual Services	\$ -	\$ 8,000	\$ -	\$ -	0.00%
390 Web Technical Services	\$ 90,413	\$ 384,583	\$ 164,805	\$ 60,000	58.45%
Contractual Services	\$ 90,413	\$ 384,583	\$ 164,805	\$ -	42.85%
Commodities	\$ -	\$ -	\$ -	\$ 60,000	0.00%
080 Building Management	\$ 458,760	\$ 5,604,558	\$ 1,470,763	\$ 4,180	26.32%
001 General Fund	\$ 458,760	\$ 5,604,558	\$ 1,470,763	\$ 4,180	26.32%
Personnel Services- Salaries & Wages	\$ 85,093	\$ 1,417,413	\$ 352,018	\$ -	24.84%
Personnel Services- Employee Benefits	\$ 17,414	\$ 404,689	\$ 73,214	\$ -	18.09%
Contractual Services	\$ 204,330	\$ 1,915,655	\$ 640,349	\$ 4,180	33.65%
Commodities	\$ 151,923	\$ 1,866,801	\$ 405,183	\$ -	21.70%
Grand Total	\$ 921,069	\$ 12,144,605	\$ 3,429,352	\$ 223,059	30.07%

**Administration Committee Mill Creek Revenue Report - Summary
Through March 31, 2021 (33.3% YTD)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	Total % Received
690 Development	\$ -	\$ 750,235	\$ 3,012	0.40%
520 Mill Creek Special Service Area	\$ -	\$ 750,235	\$ 3,012	0.40%
Grand Total	\$ -	\$ 750,235	\$ 3,012	0.40%

Administration Committee Mill Creek Expenditure Report - Summary
Through March 31, 2021 (33.3% YTD, 30.77% Payroll Expense through Pay Period Ending 03/20/2021)

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
690 Development	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%
520 Mill Creek Special Service Area	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%
Grand Total	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%

Administration Committee Mill Creek Expenditure Report - Detail
Through March 31, 2021 (33.3% YTD, 30.77% Payroll Expense through Pay Period Ending 03/20/2021)

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
690 Development	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%
520 Mill Creek Special Service Area	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%
Personnel Services- Salaries & Wages	\$ 245	\$ 54,282	\$ 980	\$ -	1.81%
Personnel Services- Employee Benefits	\$ 108	\$ 10,420	\$ 427	\$ -	4.10%
Contractual Services	\$ 3,889	\$ 664,833	\$ 62,825	\$ 87,717	22.64%
Commodities	\$ 620	\$ 18,300	\$ 1,440	\$ -	7.87%
Transfers Out	\$ -	\$ 2,400	\$ 2,400	\$ -	100.00%
Grand Total	\$ 4,861	\$ 750,235	\$ 68,073	\$ 87,717	20.77%



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 060 - Information Technologies										
Sub-Department 060 - Information Technologies										
Account 50150 - Contractual/Consulting Services										
8437 - Phoenix Staffing & Management Systems	25543	week ending 02/07/2021	Paid by EFT # 63944		02/07/2021	02/16/2021	02/16/2021		03/01/2021	845.00
8437 - Phoenix Staffing & Management Systems	25549	Week ending 02/14/2021	Paid by EFT # 63944		02/14/2021	02/17/2021	02/17/2021		03/01/2021	910.00
2480 - Iron Mountain Information Management, LLC	202292087	INV#202292087 Multi-Media Container(s) ITD	Paid by EFT # 63892		01/31/2021	02/16/2021	02/16/2021		03/01/2021	777.08
2480 - Iron Mountain Information Management, LLC	202310839	Multi-Media Containers	Paid by EFT # 64162		02/28/2021	03/05/2021	03/05/2021		03/15/2021	976.68
12555 - Heartland Business Systems LLC	429024-H	INV#429024-H HBS Professional Services - Flex Block	Paid by EFT # 64149		03/03/2021	03/04/2021	03/04/2021		03/15/2021	5,000.00
8437 - Phoenix Staffing & Management Systems	25555	Week ending 02/21/2021	Paid by EFT # 64230		02/21/2021	03/01/2021	03/01/2021		03/15/2021	650.00
8437 - Phoenix Staffing & Management Systems	25561	Week ending 02/28/2021	Paid by EFT # 64230		02/28/2021	03/03/2021	03/03/2021		03/15/2021	845.00
8437 - Phoenix Staffing & Management Systems	25567	Week ending 3/7/2021	Paid by EFT # 64504		03/07/2021	03/15/2021	03/15/2021		03/24/2021	845.00
8437 - Phoenix Staffing & Management Systems	25573	Consulting Services	Paid by EFT # 64504		03/14/2021	03/17/2021	03/17/2021		03/24/2021	845.00
1191 - Alarm Detection Systems Inc	98135-1022-060	ADS Q2-2021	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	2,112.00
Account 50150 - Contractual/Consulting Services Totals									Invoice Transactions 10	\$13,805.76
Account 50235 - Public Health Services - Coronavirus										
8437 - Phoenix Staffing & Management Systems	25543	week ending 02/07/2021	Paid by EFT # 63944		02/07/2021	02/16/2021	02/16/2021		03/01/2021	682.50
8437 - Phoenix Staffing & Management Systems	25549	Week ending 02/14/2021	Paid by EFT # 63944		02/14/2021	02/17/2021	02/17/2021		03/01/2021	546.00
8437 - Phoenix Staffing & Management Systems	25555	Week ending 02/21/2021	Paid by EFT # 64230		02/21/2021	03/01/2021	03/01/2021		03/15/2021	546.00
8437 - Phoenix Staffing & Management Systems	25561	Week ending 02/28/2021	Paid by EFT # 64230		02/28/2021	03/03/2021	03/03/2021		03/15/2021	755.30
2038 - Defin.Net Solutions Inc	7600	Consulting Services	Paid by EFT # 64095		03/03/2021	03/04/2021	03/04/2021		03/15/2021	3,500.00
8437 - Phoenix Staffing & Management Systems	25567	Week ending 3/7/2021	Paid by EFT # 64504		03/07/2021	03/15/2021	03/15/2021		03/24/2021	673.40
8437 - Phoenix Staffing & Management Systems	25573	Consulting Services	Paid by EFT # 64504		03/14/2021	03/17/2021	03/17/2021		03/24/2021	682.50
Account 50235 - Public Health Services - Coronavirus Totals									Invoice Transactions 7	\$7,385.70
Account 52150 - Repairs and Maint- Comm Equip										
11356 - Walker and Associates, Inc.	IN01010309	Communication Equipment	Paid by EFT # 64289		03/03/2021	03/04/2021	03/04/2021		03/15/2021	3,990.00



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Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 060 - Information Technologies											
Sub-Department 060 - Information Technologies											
Account 52150 - Repairs and Maint- Comm Equip											
4526 - Fifth Third Bank	0689-JZ-2/21	Zakosek MC 2/5/2021-3/4/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	27.28	
									Account 52150 - Repairs and Maint- Comm Equip Totals	Invoice Transactions 2	<u>\$4,017.28</u>
Account 53120 - Employee Mileage Expense											
11670 - Brooke Hampel	03022021	Election Day Mileage	Paid by EFT # 64144		03/02/2021	03/03/2021	03/03/2021		03/15/2021	24.98	
10005 - Corey Malis	03012021	Election Day Mileage	Paid by EFT # 64191		03/01/2021	03/01/2021	03/01/2021		03/15/2021	51.52	
4563 - Gary Erickson	03112021	Internet Service	Paid by EFT # 64398		03/11/2021	03/17/2021	03/17/2021		03/24/2021	4.48	
11670 - Brooke Hampel	03152021	Internet Service/Office Supplies/Mileage	Paid by EFT # 64428		03/15/2021	03/17/2021	03/17/2021		03/24/2021	13.94	
									Account 53120 - Employee Mileage Expense Totals	Invoice Transactions 4	<u>\$94.92</u>
Account 60000 - Office Supplies											
4526 - Fifth Third Bank	0689-JZ-1/21	Zakosek MC 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/16/2021	02/16/2021		03/01/2021	257.51	
4526 - Fifth Third Bank	7322-RF-1/2021	Fahnestock Mastercard 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	59.88	
12287 - Century Springs/Ove Water Services	2641811	IT Water Supplies	Paid by EFT # 64055		02/26/2021	03/01/2021	03/01/2021		03/15/2021	58.50	
4526 - Fifth Third Bank	7322-RF-2/2021	Fahnestock Mastercard 2/5/2021-03/04/2021	Paid by EFT # 64404		03/04/2021	03/15/2021	03/15/2021		03/24/2021	119.00	
4526 - Fifth Third Bank	0689-JZ-2/21	Zakosek MC 2/5/2021-3/4/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	477.20	
11670 - Brooke Hampel	03152021	Internet Service/Office Supplies/Mileage	Paid by EFT # 64428		03/15/2021	03/17/2021	03/17/2021		03/24/2021	33.45	
1592 - Initial Impressions Inc	31358	Rain Jacket Order	Paid by Check # 374444		03/08/2021	03/17/2021	03/17/2021		03/24/2021	42.14	
									Account 60000 - Office Supplies Totals	Invoice Transactions 7	<u>\$1,047.68</u>
Account 60020 - Computer Related Supplies											
4526 - Fifth Third Bank	0689-JZ-1/21	Zakosek MC 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/16/2021	02/16/2021		03/01/2021	599.50	
4526 - Fifth Third Bank	7322-RF-1/2021	Fahnestock Mastercard 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	195.96	
4526 - Fifth Third Bank	0689-JZ-2/21	Zakosek MC 2/5/2021-3/4/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	24.63	
3186 - Insight Public Sector Inc	1100817093	INV# 1100817093 Laptop Docks (Testing Needs)	Paid by EFT # 64445		03/11/2021	03/19/2021	03/19/2021		03/24/2021	471.00	
									Account 60020 - Computer Related Supplies Totals	Invoice Transactions 4	<u>\$1,291.09</u>



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Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 060 - Information Technologies										
Sub-Department 060 - Information Technologies										
Account 60050 - Books and Subscriptions										
4526 - Fifth Third Bank	0689-JZ-1/21	Zakosek MC 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/16/2021	02/16/2021		03/01/2021	1,171.77
4526 - Fifth Third Bank	7322-RF-1/2021	Fahnestock Mastercard 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	156.69
4526 - Fifth Third Bank	7322-RF-2/2021	Fahnestock Mastercard 2/5/2021-03/04/2021	Paid by EFT # 64404		03/04/2021	03/15/2021	03/15/2021		03/24/2021	(247.50)
4526 - Fifth Third Bank	0689-JZ-2/21	Zakosek MC 2/5/2021-3/4/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	116.31
4526 - Fifth Third Bank	2999-BP-2/21	Peters MasterCard 02/05/2021-03/04/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	119.00
Account 60050 - Books and Subscriptions Totals									Invoice Transactions 5	\$1,316.27
Account 60110 - Printing Supplies										
4526 - Fifth Third Bank	7322-RF-1/2021	Fahnestock Mastercard 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	1,237.91
1119 - Gordon Flesch Company Inc	IN13209864	Black/color copy	Paid by EFT # 63874		02/02/2021	02/22/2021	02/22/2021		03/01/2021	384.83
3578 - Warehouse Direct Office Products	4883122-0	INV#4883122-0 Print Shop Supplies Order	Paid by EFT # 63996		02/05/2021	02/18/2021	02/18/2021		03/01/2021	9.20
3578 - Warehouse Direct Office Products	4883129-0	INV#4883129-0 print shop supplies order	Paid by EFT # 64290		02/16/2021	03/01/2021	03/01/2021		03/15/2021	40.92
1119 - Gordon Flesch Company Inc	IN13243652	Black/color copy	Paid by EFT # 64134		03/02/2021	03/04/2021	03/04/2021		03/15/2021	452.09
8930 - Impact Networking, LLC	2044206	INV#2044206 Copy Counts for ITD Copy Center	Paid by EFT # 64444		02/24/2021	03/18/2021	03/18/2021		03/24/2021	2,977.08
Account 60110 - Printing Supplies Totals									Invoice Transactions 6	\$5,102.03
Account 60265 - Public Health Commodities - Coronavirus										
4526 - Fifth Third Bank	0689-JZ-1/21	Zakosek MC 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/16/2021	02/16/2021		03/01/2021	2,345.86
Account 60265 - Public Health Commodities - Coronavirus Totals									Invoice Transactions 1	\$2,345.86
Account 60570 - Office Furniture - Non-Capital										
4526 - Fifth Third Bank	7322-RF-1/2021	Fahnestock Mastercard 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	599.94
Account 60570 - Office Furniture - Non-Capital Totals									Invoice Transactions 1	\$599.94
Account 64000 - Telephone										
4526 - Fifth Third Bank	0689-JZ-1/21	Zakosek MC 1/5/2021-2/4/2021	Paid by EFT # 63863		02/04/2021	02/16/2021	02/16/2021		03/01/2021	152.28
Account 64000 - Telephone Totals									Invoice Transactions 1	\$152.28
Sub-Department 060 - Information Technologies Totals									Invoice Transactions 48	\$37,158.81
Department 060 - Information Technologies Totals									Invoice Transactions 48	\$37,158.81



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 50235 - Public Health Services - Coronavirus											
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38843	COVID GC 1ST FLOOR & KBC COURTROOM	Paid by EFT # 63942		02/02/2021	02/18/2021	02/18/2021		03/01/2021	2,100.00	
									Account 50235 - Public Health Services - Coronavirus Totals	Invoice Transactions 1	<u>2,100.00</u>
Account 52000 - Disposal and Water Softener Svcs											
1216 - Waste Management of Illinois - West	4063158-2011-7	164914613006 757 MARCH	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	60.37	
1216 - Waste Management of Illinois - West	4062664-2011-5	109548113005 MARCH 540,GC,JC JJC 1240	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	287.55	
									Account 52000 - Disposal and Water Softener Svcs Totals	Invoice Transactions 2	<u>\$347.92</u>
Account 52010 - Janitorial Services											
4526 - Fifth Third Bank	1775-RG-01/21	UATTEND, FOX METRO, CAR WASH	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	129.00	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38838	01/18-02/29/21 GC OCH CAC NORTH C AURORA	Paid by EFT # 63942		02/02/2021	02/18/2021	02/18/2021		03/01/2021	3,819.70	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38851	02/01-02/14 ACONTRACTED SERVICES	Paid by EFT # 64227		02/16/2021	03/04/2021	03/04/2021		03/15/2021	3,833.76	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38987	03/01-03/12 CONTRACT SVC GC OCH NCAMPUS 1240 ELECTION	Paid by EFT # 64500		03/16/2021	03/17/2021	03/17/2021		03/24/2021	3,912.57	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38971	02/15-02/26 ALL BLDGS	Paid by EFT # 64500		03/03/2021	03/17/2021	03/17/2021		03/24/2021	3,684.09	
									Account 52010 - Janitorial Services Totals	Invoice Transactions 5	<u>\$15,379.12</u>
Account 52020 - Repairs and Maintenance- Roads											
1360 - Feece Oil Company	1945915	SALT TRUCK	Paid by Check # 373985		02/08/2021	02/18/2021	02/18/2021		03/01/2021	122.09	
4526 - Fifth Third Bank	1775-RG-01/21	UATTEND, FOX METRO, CAR WASH	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	10.00	
9293 - M.A.C. Construction, Inc.	3336	FABYAN 01/30.31.02/01	Paid by EFT # 63905		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,768.00	
9293 - M.A.C. Construction, Inc.	3335	GC 01,30,31,02,01	Paid by EFT # 63905		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,900.00	
9293 - M.A.C. Construction, Inc.	3362	FABYAB 02/04-05	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	1,066.00	
9293 - M.A.C. Construction, Inc.	3361	GC 02/04,5,	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	1,050.00	
9293 - M.A.C. Construction, Inc.	3424	FABYAN 02/12-13	Paid by EFT # 63905		02/13/2021	02/18/2021	02/18/2021		03/01/2021	1,196.00	
9293 - M.A.C. Construction, Inc.	3423	GC 02/12-13	Paid by EFT # 63905		02/13/2021	02/18/2021	02/18/2021		03/01/2021	1,350.00	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 080 - Building Mgmt- Government Center										
Account 52020 - Repairs and Maintenance- Roads										
9293 - M.A.C. Construction, Inc.	3438	GC 02/13-15	Paid by EFT #		02/15/2021	02/18/2021	02/18/2021		03/01/2021	1,100.00
			63905							
9293 - M.A.C. Construction, Inc.	3439	FABYAN 02/13-15	Paid by EFT #		02/15/2021	02/18/2021	02/18/2021		03/01/2021	884.00
			63905							
9293 - M.A.C. Construction, Inc.	3408	FABYAN 02/08-9	Paid by EFT #		02/09/2021	02/18/2021	02/18/2021		03/01/2021	884.00
			63905							
9293 - M.A.C. Construction, Inc.	3407	GC 02/08-09	Paid by EFT #		02/09/2021	02/18/2021	02/18/2021		03/01/2021	950.00
			63905							
9293 - M.A.C. Construction, Inc.	3384	GC 02/06	Paid by EFT #		02/07/2021	02/18/2021	02/18/2021		03/01/2021	550.00
			63905							
9293 - M.A.C. Construction, Inc.	3385	FABYAN 02/06	Paid by EFT #		02/07/2021	02/18/2021	02/18/2021		03/01/2021	442.00
			63905							
9293 - M.A.C. Construction, Inc.	3290	GC 01/16-01/17	Paid by EFT #		01/18/2021	03/04/2021	03/04/2021		03/15/2021	1,100.00
			64190							
9293 - M.A.C. Construction, Inc.	3291	01/16-17 FABYAN	Paid by EFT #		01/18/2021	03/04/2021	03/04/2021		03/15/2021	884.00
			64190							
9293 - M.A.C. Construction, Inc.	3458	GC 02/15-16	Paid by EFT #		02/16/2021	03/04/2021	03/04/2021		03/15/2021	1,100.00
			64190							
9293 - M.A.C. Construction, Inc.	3459	FABYAN 02/15-16	Paid by EFT #		02/16/2021	03/04/2021	03/04/2021		03/15/2021	884.00
			64190							
9293 - M.A.C. Construction, Inc.	3499	02/22 GC	Paid by EFT #		02/22/2021	03/04/2021	03/04/2021		03/15/2021	550.00
			64190							
9293 - M.A.C. Construction, Inc.	3500	02/22 FABYAN	Paid by EFT #		02/22/2021	03/04/2021	03/04/2021		03/15/2021	442.00
			64190							
9293 - M.A.C. Construction, Inc.	3487	GC 02/18	Paid by EFT #		02/21/2021	03/04/2021	03/04/2021		03/15/2021	550.00
			64190							
9293 - M.A.C. Construction, Inc.	3488	02/18 FABYAN	Paid by EFT #		02/21/2021	03/04/2021	03/04/2021		03/15/2021	442.00
			64190							
9293 - M.A.C. Construction, Inc.	3413	02/10 GC	Paid by EFT #		02/10/2021	03/04/2021	03/04/2021		03/15/2021	250.00
			64190							
9293 - M.A.C. Construction, Inc.	3414	02/10 FABYAN	Paid by EFT #		02/10/2021	03/04/2021	03/04/2021		03/15/2021	312.00
			64190							
9293 - M.A.C. Construction, Inc.	3297	FABYAN 01/19-20	Paid by EFT #		01/20/2021	03/04/2021	03/04/2021		03/15/2021	624.00
			64190							
9293 - M.A.C. Construction, Inc.	3296	01/19-20 GC	Paid by EFT #		01/20/2021	03/04/2021	03/04/2021		03/15/2021	800.00
			64190							
9293 - M.A.C. Construction, Inc.	3275	01/15-GC	Paid by EFT #		01/15/2021	03/04/2021	03/04/2021		03/15/2021	250.00
			64190							
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT #		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68
			64048							
10803 - DNM Sealcoating, Inc	17339	RELOCATED SNOW PILES GC & OCH	Paid by EFT #		02/20/2021	03/04/2021	03/04/2021		03/15/2021	2,710.00
			64098							



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 52020 - Repairs and Maintenance- Roads											
1360 - Feece Oil Company	1948090	gas salt truck	Paid by Check # 374240		02/23/2021	03/04/2021	03/04/2021		03/15/2021	79.27	
1360 - Feece Oil Company	1952338	TRUCK FUEL	Paid by Check # 374427		03/15/2021	03/17/2021	03/17/2021		03/24/2021	86.46	
4526 - Fifth Third Bank	1775-RG-02/21	02/08-03/01 SFM POST BOX TREASURER, UATTEND, TYLER WASH KNOX BOX	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	16.85	
9293 - M.A.C. Construction, Inc.	3153	FABYAN COMPLEX 03/15 X2	Paid by EFT # 64461		03/17/2021	03/20/2021	03/20/2021		03/24/2021	624.00	
9293 - M.A.C. Construction, Inc.	3512	GC 03/15 X2	Paid by EFT # 64461		03/17/2021	03/20/2021	03/20/2021		03/24/2021	500.00	
								Account 52020 - Repairs and Maintenance- Roads Totals		Invoice Transactions 34	\$26,544.35
Account 52110 - Repairs and Maint- Buildings											
12287 - Century Springs/Ove Water Services	2621259	JAN 2021	Paid by EFT # 63817		01/29/2021	02/18/2021	02/18/2021		03/01/2021	47.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	95.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	95.00	
3733 - Combined Roofing Services LLC (American Roofing)	10538	BLDG B DRAIN CONNECTION	Paid by Check # 373958		01/25/2021	02/18/2021	02/18/2021		03/01/2021	487.56	
3060 - Grainger Inc	9790322060	BB GK SENSOR	Paid by EFT # 63875		01/29/2021	02/18/2021	02/18/2021		03/01/2021	102.29	
1662 - Lowes	902365	JC PARTS	Paid by Check # 374006		02/04/2021	02/18/2021	02/18/2021		03/01/2021	61.43	
1390 - Menards, Inc.	58576	RETURN	Paid by EFT # 63914		02/04/2021	02/19/2021	02/19/2021		03/01/2021	(8.99)	
1390 - Menards, Inc.	58516	SHOP PARTS	Paid by EFT # 63914		02/03/2021	02/19/2021	02/19/2021		03/01/2021	118.55	
1390 - Menards, Inc.	58537	RETURN	Paid by EFT # 63914		02/03/2021	02/19/2021	02/19/2021		03/01/2021	(21.19)	
1390 - Menards, Inc.	58538	SHOP PARTS	Paid by EFT # 63914		02/03/2021	02/19/2021	02/19/2021		03/01/2021	39.99	
1390 - Menards, Inc.	58539	jc parts	Paid by EFT # 63914		02/03/2021	02/19/2021	02/19/2021		03/01/2021	8.99	
1496 - Steiner Electric Co Inc	S006826145.001	BLDG A PHOTOCONTROL SENSOR	Paid by EFT # 63970		02/02/2021	02/18/2021	02/18/2021		03/01/2021	16.57	
1496 - Steiner Electric Co Inc	S006827129.001	SHOP WIRE TAPE CIRC BREAKER	Paid by EFT # 63970		02/03/2021	02/18/2021	02/18/2021		03/01/2021	230.62	



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 080 - Building Mgmt- Government Center										
Account 52110 - Repairs and Maint- Buildings										
9840 - Suburban Door Check & Lock Service, Inc.	IN532667	KANECO1 COB DECODE M10& CREAT NEW SYSTEM NEW MASTER KEY	Paid by EFT # 63973		12/18/2020	02/18/2021	02/18/2021		03/01/2021	308.40
1229 - Therm Flo Incorporated	T8851INV	PR9957 LIEBERT IN RECORDS VAULT COUNTY CLERK	Paid by EFT # 63978		02/12/2021	02/18/2021	02/18/2021		03/01/2021	1,021.20
4371 - Toshiba Business Solutions, Inc.	5458366	2694012 1166690 01/13-02/12/21	Paid by Check # 374042		02/08/2021	02/18/2021	02/18/2021		03/01/2021	6.23
3470 - Trane US Inc dba Trane	9586419	bldg b parts	Paid by Check # 374044		02/03/2021	02/18/2021	02/18/2021		03/01/2021	80.00
8388 - Havlicek Geneva Ace Hardware LLC	87050	BLDG A PARTS	Paid by EFT # 63880		02/11/2021	02/18/2021	02/18/2021		03/01/2021	53.99
1479 - Valley Lock Company Inc	67685	KEYS	Paid by Check # 374048		01/31/2021	02/18/2021	02/18/2021		03/01/2021	4.30
1558 - Sherwin Williams	6918-1	AUDITOR PAINT	Paid by EFT # 64254		03/03/2021	03/04/2021	03/04/2021		03/15/2021	11.61
1558 - Sherwin Williams	0814-2	CHAIRMAN SECRETARY PAINT	Paid by EFT # 64254		01/08/2021	03/09/2021	03/09/2021		03/15/2021	164.60
8388 - Havlicek Geneva Ace Hardware LLC	87264	GC PARTS	Paid by EFT # 64148		02/23/2021	03/04/2021	03/04/2021		03/15/2021	4.49
5933 - Urban Elevator Service Inc	15133201- 100719	BLDG C MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	119.60
5933 - Urban Elevator Service Inc	15133196- 000719	BLDG A MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	139.88
5933 - Urban Elevator Service Inc	15133202- 200719	BLDG B MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	119.60
2680 - Fox Valley Sewer Service	202355	CORONER ROD EXIT OF ARATOR IN SINK HEAVY HAIR	Paid by Check # 374248		01/26/2021	03/04/2021	03/04/2021		03/15/2021	230.00
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	95.00
12287 - Century Springs/Ove Water Services	2639969	feb water	Paid by EFT # 64055		02/26/2021	03/04/2021	03/04/2021		03/15/2021	29.00
12930 - Sharon Weimer	03/05/2021	03/02 4.5 & 03/05 4.5	Paid by EFT # 64293		03/05/2021	03/05/2021	03/05/2021		03/15/2021	135.00
1191 - Alarm Detection Systems Inc	98135-1022- 080	2ND QUARTER APR- JUNE ALL 080	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	5,953.53
8901 - Central Furnace Supply Co.	306789	BLDG G IGNITER HVAC	Paid by EFT # 64339		03/17/2021	03/17/2021	03/17/2021		03/24/2021	93.46



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Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 52110 - Repairs and Maint- Buildings											
9465 - Dude Solutions, Inc. (FacilityDude.com)	INV-83357	FACILITY DUDE WO ANNUAL RENEWAL 05/21-04/30/22	Paid by EFT # 64387		03/01/2021	03/17/2021	03/17/2021		03/24/2021	12,921.59	
4526 - Fifth Third Bank	1775-RG-02/21	02/08-03/01 SFM POST BOX TREASURER, UATTEND, TYLER WASH KNOX BOX	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	204.50	
3060 - Grainger Inc	9821586410	BLDG B HVAC SNSR	Paid by EFT # 64422		03/01/2021	03/19/2021	03/19/2021		03/24/2021	86.63	
1390 - Menards, Inc.	60368	BLDG C PARTS	Paid by EFT # 64469		03/10/2021	03/20/2021	03/20/2021		03/24/2021	2.94	
1390 - Menards, Inc.	60624	GC PARTS	Paid by EFT # 64469		03/15/2021	03/20/2021	03/20/2021		03/24/2021	37.82	
1390 - Menards, Inc.	60679	BLDG A PARTS	Paid by EFT # 64469		03/16/2021	03/20/2021	03/20/2021		03/24/2021	5.24	
1390 - Menards, Inc.	60745	BLDG B PARTS SMELL	Paid by EFT # 64469		03/17/2021	03/20/2021	03/20/2021		03/24/2021	16.95	
2147 - Illini Power Products	SWO029239-1	BLDG B RAN OUT OF FUEL. RESET	Paid by Check # 374441		12/30/2020	03/17/2021	03/17/2021		03/24/2021	943.29	
10562 - Kellenberger Electric, Inc	031521-03BS	COURTHOUSE INSP GROUNG ELECTRICAL BOX WILL RETURN IN SPRING	Paid by EFT # 64454		03/15/2021	03/17/2021	03/17/2021		03/24/2021	95.00	
10562 - Kellenberger Electric, Inc	012721-03BS	GC LIGHT POLE	Paid by EFT # 64454		01/27/2021	03/20/2021	03/20/2021		03/24/2021	1,627.00	
1558 - Sherwin Williams	2987-4	COB ROOM	Paid by Check # 374483		03/15/2021	03/20/2021	03/20/2021		03/24/2021	32.71	
1479 - Valley Lock Company Inc	67744	FEB 2021	Paid by Check # 374503		02/28/2021	03/20/2021	03/20/2021		03/24/2021	17.50	
									Account 52110 - Repairs and Maint- Buildings Totals	Invoice Transactions 43	\$25,833.88
Account 52230 - Repairs and Maint- Vehicles											
4526 - Fifth Third Bank	CA-2110-01/21	CREDIT cards fullers discounty tire	Paid by EFT # 63863		02/04/2021	02/22/2021	02/22/2021		03/01/2021	1,847.90	
8388 - Havlicek Geneva Ace Hardware LLC	86786	TRUCK PARTS	Paid by EFT # 63880		01/29/2021	02/18/2021	02/18/2021		03/01/2021	34.18	
11377 - Via Carlita LLC dba Hawk Ford of St. Charles	34707	TRUCK MIRROR JR	Paid by EFT # 63990		02/01/2021	02/18/2021	02/18/2021		03/01/2021	525.16	
11377 - Via Carlita LLC dba Hawk Ford of St. Charles	144047	F350 A95495 TRUCK WONT GO INTO 4X4 LINK ASSEMBLY	Paid by EFT # 64287		01/06/2021	03/04/2021	03/04/2021		03/15/2021	299.93	
6387 - Fuller's Full Service Car Wash	22951639574	M209382 OIL CHANGE	Paid by Check # 374249		02/23/2021	03/04/2021	03/04/2021		03/15/2021	48.95	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 52230 - Repairs and Maint- Vehicles											
6387 - Fuller's Full Service Car Wash	72724360726	M204728 DAN TRUCK OIL CHANGE	Paid by Check # 374249		02/19/2021	03/04/2021	03/04/2021		03/15/2021	48.95	
6387 - Fuller's Full Service Car Wash	42924048918	M222154 WASH MAILROOM VAN	Paid by Check # 374249		02/23/2021	03/04/2021	03/04/2021		03/15/2021	33.00	
6387 - Fuller's Full Service Car Wash	23406852630	M190625-IL	Paid by Check # 374433		03/03/2021	03/20/2021	03/20/2021		03/24/2021	53.45	
6387 - Fuller's Full Service Car Wash	02/26/21	M173610 CA WASH	Paid by Check # 374433		02/28/2021	03/20/2021	03/20/2021		03/24/2021	5.00	
12801 - S & C Automotive Inc	0004261	M222154 MAILROOM VAN FOR TRANSIT 2019 OIL CHANGE	Paid by EFT # 64531		03/11/2021	03/20/2021	03/20/2021		03/24/2021	174.72	
4526 - Fifth Third Bank	2110-CA-02/21	RON'S AUTO CA	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	179.80	
								Account 52230 - Repairs and Maint- Vehicles Totals		Invoice Transactions 11	\$3,251.04
Account 53060 - General Printing											
1849 - Batavia Instant Print Inc	20210004	SHERIFF PRINTING	Paid by EFT # 63801		02/01/2021	02/18/2021	02/18/2021		03/01/2021	61.83	
1849 - Batavia Instant Print Inc	20210028	SAO PRINTING	Paid by EFT # 63801		02/08/2021	02/18/2021	02/18/2021		03/01/2021	379.77	
1849 - Batavia Instant Print Inc	20210014	SHERIFF & SAO	Paid by EFT # 63801		02/03/2021	02/18/2021	02/18/2021		03/01/2021	797.53	
1849 - Batavia Instant Print Inc	20210023	NEW CCC PRINTING	Paid by EFT # 63801		02/05/2021	02/18/2021	02/18/2021		03/01/2021	1,700.45	
1395 - Cenveo Worldwide Limited	111-261890	SOA PRINTING	Paid by EFT # 63818		01/28/2021	02/18/2021	02/18/2021		03/01/2021	611.20	
1395 - Cenveo Worldwide Limited	111-270120	COUNTY CLERK ENVELOPES	Paid by EFT # 64056		02/22/2021	03/04/2021	03/04/2021		03/15/2021	402.20	
1395 - Cenveo Worldwide Limited	111-270121	COUNTY CLERK	Paid by EFT # 64056		02/22/2021	03/04/2021	03/04/2021		03/15/2021	394.90	
1849 - Batavia Instant Print Inc	20210030	SAO FORMS	Paid by EFT # 64033		02/09/2021	03/04/2021	03/04/2021		03/15/2021	186.65	
								Account 53060 - General Printing Totals		Invoice Transactions 8	\$4,534.53
Account 60010 - Operating Supplies											
3578 - Warehouse Direct Office Products	4805902-0	BM LILLY MAYBE MC OFFICE USPLIES	Paid by EFT # 64290		10/28/2020	03/01/2021	03/01/2021		03/15/2021	657.27	
3578 - Warehouse Direct Office Products	4808500-0	BM LILLY MAYBE MC OFFICE SUPPLIES	Paid by EFT # 64290		10/30/2020	03/01/2021	03/01/2021		03/15/2021	197.11	
3578 - Warehouse Direct Office Products	4899188-0	MOVING SUPPLIES TO MUF	Paid by EFT # 64290		02/26/2021	03/04/2021	03/04/2021		03/15/2021	398.26	
								Account 60010 - Operating Supplies Totals		Invoice Transactions 3	\$1,252.64



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Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 60090 - Utilities- Sewer											
1044 - City of Geneva	198003940001-321	325554113 719 BATAVIA 101/01-02/01/21	Paid by EFT # 64070		02/15/2021	03/01/2021	03/01/2021		03/15/2021	118.75	
1044 - City of Geneva	198003939000-321	71199864 GC 719 12/28-02/01/21	Paid by EFT # 64071		02/15/2021	03/01/2021	03/01/2021		03/15/2021	98.41	
1044 - City of Geneva	198004210000-321	81233770 DIAG FABYAN 01/01-02/01/21	Paid by EFT # 64073		02/15/2021	03/01/2021	03/01/2021		03/15/2021	13.92	
1044 - City of Geneva	198003941000-321	71381680 BLDG B WATER 12/28-02/01/21	Paid by EFT # 64075		02/15/2021	03/01/2021	03/01/2021		03/15/2021	78.71	
1044 - City of Geneva	198004205003-421	8107884 703 E FABYAN HSE 02801-03/02/21	Paid by EFT # 64359		03/15/2021	03/20/2021	03/20/2021		03/24/2021	14.49	
1044 - City of Geneva	198003939000-421	71199864GC BLDG C 02/01-03/01/21	Paid by EFT # 64354		03/15/2021	03/20/2021	03/20/2021		03/24/2021	106.42	
1044 - City of Geneva	198004210000-421	81233770 DIAG FABYAN 02/01-03/01/21	Paid by EFT # 64356		03/15/2021	03/20/2021	03/20/2021		03/24/2021	13.92	
1044 - City of Geneva	198003941000-421	71381680 BLDG B WATER 02/01-003/01/20210	Paid by EFT # 64360		03/15/2021	03/20/2021	03/20/2021		03/24/2021	75.63	
1044 - City of Geneva	198003940001-421	325554113 719 BATAVIA 02/01-03/01/2021	Paid by EFT # 64350		03/15/2021	03/20/2021	03/20/2021		03/24/2021	133.10	
1044 - City of Geneva	305000160002-321	40083579 401 campbell 01/17-02/19/21	Paid by EFT # 64351		02/28/2021	03/20/2021	03/20/2021		03/24/2021	14.54	
									Account 60090 - Utilities- Sewer Totals	Invoice Transactions 10	\$667.89
Account 60100 - Utilities- Water											
1044 - City of Geneva	198004205003-321	8107884 703 E FABYAN HSE 01/01-02/01/21	Paid by EFT # 64076		02/15/2021	03/01/2021	03/01/2021		03/15/2021	29.03	
1044 - City of Geneva	198003940001-321	325554113 719 BATAVIA 101/01-02/01/21	Paid by EFT # 64070		02/15/2021	03/01/2021	03/01/2021		03/15/2021	191.94	
1044 - City of Geneva	198003939000-321	71199864 GC 719 12/28-02/01/21	Paid by EFT # 64071		02/15/2021	03/01/2021	03/01/2021		03/15/2021	169.81	
1044 - City of Geneva	198004210000-321	81233770 DIAG FABYAN 01/01-02/01/21	Paid by EFT # 64073		02/15/2021	03/01/2021	03/01/2021		03/15/2021	21.40	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 60100 - Utilities- Water											
1044 - City of Geneva	198003941000-321	71381680 BLDG B WATER 12/28-02/01/21	Paid by EFT # 64075		02/15/2021	03/01/2021	03/01/2021		03/15/2021	141.75	
1044 - City of Geneva	198004205003-421	8107884 703 E FABYAN HSE 02801-03/02/21	Paid by EFT # 64359		03/15/2021	03/20/2021	03/20/2021		03/24/2021	14.54	
1044 - City of Geneva	198003939000-421	71199864GC BLDG C 02/01-03/01/21	Paid by EFT # 64354		03/15/2021	03/20/2021	03/20/2021		03/24/2021	171.13	
1044 - City of Geneva	198004210000-421	81233770 DIAG FABYAN 02/01-03/01/21	Paid by EFT # 64356		03/15/2021	03/20/2021	03/20/2021		03/24/2021	21.40	
1044 - City of Geneva	198003941000-421	71381680 BLDG B WATER 02/01-003/01/20210	Paid by EFT # 64360		03/15/2021	03/20/2021	03/20/2021		03/24/2021	125.71	
1044 - City of Geneva	198003940001-421	325554113 719 BATAVIA 02/01-03/01/2021	Paid by EFT # 64350		03/15/2021	03/20/2021	03/20/2021		03/24/2021	216.15	
									Account 60100 - Utilities- Water Totals	Invoice Transactions 10	\$1,102.86
Account 60110 - Printing Supplies											
2400 - Veritiv Operating Company	510-61382035	CCC PAPER	Paid by EFT # 63988		01/28/2021	02/18/2021	02/18/2021		03/01/2021	2,312.00	
2400 - Veritiv Operating Company	510-61400170	SHERIFF COPY PAPER	Paid by EFT # 64566		02/26/2021	03/19/2021	03/19/2021		03/24/2021	3,468.00	
2400 - Veritiv Operating Company	510-61394265	JC PAPER	Paid by EFT # 64566		02/17/2021	03/19/2021	03/19/2021		03/24/2021	3,468.00	
									Account 60110 - Printing Supplies Totals	Invoice Transactions 3	\$9,248.00
Account 60160 - Cleaning Supplies											
3578 - Warehouse Direct Office Products	4763172-0	GC TP DISPNERER	Paid by EFT # 64290		09/09/2020	03/01/2021	03/01/2021		03/15/2021	171.96	
3578 - Warehouse Direct Office Products	4762671-0	BATTERIES	Paid by EFT # 64290		09/09/2020	03/01/2021	03/01/2021		03/15/2021	84.46	
3578 - Warehouse Direct Office Products	4878195-0	GC JANITORIAL	Paid by EFT # 64290		02/16/2021	03/04/2021	03/04/2021		03/15/2021	753.84	
3578 - Warehouse Direct Office Products	4888512-0	GC MAILROOM	Paid by EFT # 64290		02/19/2021	03/04/2021	03/04/2021		03/15/2021	25.99	
4526 - Fifth Third Bank	1775-RG-02/21	02/08-03/01 SFM POST BOX TREASURER, UATTEND, TYLER WASH KNOX BOX	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	170.88	
									Account 60160 - Cleaning Supplies Totals	Invoice Transactions 5	\$1,207.13



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 080 - Building Mgmt- Government Center											
Account 63000 - Utilities- Natural Gas											
2253 - Nicor Gas	88016110004-0421	3677438 757 E FABYAN 01/18-02/16/21	Paid by Check # 374016		02/16/2021	02/19/2021	02/19/2021		03/01/2021	279.86	
1066 - Constellation NewEnergy-Gas Division, LLC	3127506	BG-164802 JAN 2021 540,OCH JJC JC JAIL GC	Paid by EFT # 64004		02/25/2021	02/26/2021	02/26/2021		03/02/2021	2,431.15	
2253 - Nicor Gas	88016110004-521	3677438 757 02/16-03/17/21	Paid by Check # 374467		03/17/2021	03/17/2021	03/17/2021		03/24/2021	203.68	
									Account 63000 - Utilities- Natural Gas Totals	Invoice Transactions 3	\$2,914.69
Account 63010 - Utilities- Electric											
1044 - City of Geneva	198003940001-321	325554113 719 BATAVIA 101/01-02/01/21	Paid by EFT # 64070		02/15/2021	03/01/2021	03/01/2021		03/15/2021	11,605.83	
1044 - City of Geneva	198004210000-321	81233770 DIAG FABYAN 01/01-02/01/21	Paid by EFT # 64073		02/15/2021	03/01/2021	03/01/2021		03/15/2021	400.76	
1044 - City of Geneva	198003939000-421	71199864GC BLDG C 02/01-03/01/21	Paid by EFT # 64354		03/15/2021	03/20/2021	03/20/2021		03/24/2021	12.86	
1044 - City of Geneva	198004210000-421	81233770 DIAG FABYAN 02/01-03/01/21	Paid by EFT # 64356		03/15/2021	03/20/2021	03/20/2021		03/24/2021	373.87	
1044 - City of Geneva	198003941000-421	71381680 BLDG B WATER 02/01-003/01/20210	Paid by EFT # 64360		03/15/2021	03/20/2021	03/20/2021		03/24/2021	10.58	
1044 - City of Geneva	198003940001-421	325554113 719 BATAVIA 02/01-03/01/2021	Paid by EFT # 64350		03/15/2021	03/20/2021	03/20/2021		03/24/2021	10,505.16	
									Account 63010 - Utilities- Electric Totals	Invoice Transactions 6	\$22,909.06
Account 63040 - Fuel- Vehicles											
1360 - Feece Oil Company	1945065	SALT TRUCK	Paid by Check # 373985		02/02/2021	02/18/2021	02/18/2021		03/01/2021	115.06	
1360 - Feece Oil Company	1945452	DIESEL FUEL NO GAS KEY	Paid by Check # 373985		02/04/2021	02/18/2021	02/18/2021		03/01/2021	37.84	
1360 - Feece Oil Company	1947484	SALT TRUCK FUEL	Paid by Check # 374240		02/18/2021	03/04/2021	03/04/2021		03/15/2021	122.52	
									Account 63040 - Fuel- Vehicles Totals	Invoice Transactions 3	\$275.42
									Sub-Department 080 - Building Mgmt- Government Center Totals	Invoice Transactions 147	\$117,568.53



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 081 - Building Mgmt- Judicial Center											
Account 52000 - Disposal and Water Softener Srvs											
1216 - Waste Management of Illinois - West	4062664-2011-5	109548113005 MARCH 540,GC,JC JJC 1240	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	319.50	
								Account 52000 - Disposal and Water Softener Srvs Totals		Invoice Transactions 1	<u>\$319.50</u>
Account 52010 - Janitorial Services											
12566 - Alpha Building Maintenance Service Inc	20484 CK	FEB JA JJC JAIL	Paid by EFT # 63792		02/01/2021	02/18/2021	02/18/2021		03/01/2021	14,191.00	
4526 - Fifth Third Bank	1775-RG-01/21	UATTEND, FOX METRO, CAR WASH	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	135.00	
12566 - Alpha Building Maintenance Service Inc	20245 CK	REG SVC 09/01-09/30/2020 JC JJC JAIL	Paid by EFT # 64019		09/01/2020	03/01/2021	03/01/2021		03/15/2021	14,191.00	
								Account 52010 - Janitorial Services Totals		Invoice Transactions 3	<u>\$28,517.00</u>
Account 52020 - Repairs and Maintenance- Roads											
9293 - M.A.C. Construction, Inc.	3337	JC 01/31,31,02/01	Paid by EFT # 63905		02/02/2021	02/18/2021	02/18/2021		03/01/2021	2,860.00	
9293 - M.A.C. Construction, Inc.	3363	JC 02/04-05	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	2,330.00	
9293 - M.A.C. Construction, Inc.	3425	JC 02/12-13	Paid by EFT # 63905		02/13/2021	02/18/2021	02/18/2021		03/01/2021	1,475.00	
9293 - M.A.C. Construction, Inc.	3440	JC 13-15	Paid by EFT # 63905		02/15/2021	02/18/2021	02/18/2021		03/01/2021	2,085.00	
9293 - M.A.C. Construction, Inc.	3386	JC 02/06	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	1,535.00	
9293 - M.A.C. Construction, Inc.	3292	JC 01/16-17	Paid by EFT # 64190		01/18/2021	03/04/2021	03/04/2021		03/15/2021	3,070.00	
9293 - M.A.C. Construction, Inc.	3460	JC 02/15-02/16	Paid by EFT # 64190		02/16/2021	03/04/2021	03/04/2021		03/15/2021	2,035.00	
9293 - M.A.C. Construction, Inc.	3501	02/22 JC	Paid by EFT # 64190		02/22/2021	03/04/2021	03/04/2021		03/15/2021	1,535.00	
9293 - M.A.C. Construction, Inc.	3489	02/18 JC	Paid by EFT # 64190		02/21/2021	03/04/2021	03/04/2021		03/15/2021	1,535.00	
9293 - M.A.C. Construction, Inc.	3415	JC 02/10	Paid by EFT # 64190		02/10/2021	03/04/2021	03/04/2021		03/15/2021	375.00	
9293 - M.A.C. Construction, Inc.	3298	01/19-20 JC	Paid by EFT # 64190		01/20/2021	03/04/2021	03/04/2021		03/15/2021	900.00	
9293 - M.A.C. Construction, Inc.	3277	01/15 JC	Paid by EFT # 64190		01/15/2021	03/04/2021	03/04/2021		03/15/2021	375.00	
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT # 64048		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68	
9293 - M.A.C. Construction, Inc.	3514	JC 03/15 X2	Paid by EFT # 64461		03/17/2021	03/20/2021	03/20/2021		03/24/2021	1,050.00	
								Account 52020 - Repairs and Maintenance- Roads Totals		Invoice Transactions 14	<u>\$22,227.68</u>



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 081 - Building Mgmt- Judicial Center										
Account 52110 - Repairs and Maint- Buildings										
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	95.00
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	95.00
2779 - ILLCO INC	1381331	JC PRESS BALL VALVE	Paid by Check # 373992		02/12/2021	02/18/2021	02/18/2021		03/01/2021	753.36
2779 - ILLCO INC	1381263	JC HHAC PARTS	Paid by Check # 373992		02/11/2021	02/18/2021	02/18/2021		03/01/2021	430.89
1390 - Menards, Inc.	58929	JC PARTS	Paid by EFT # 63914		02/10/2021	02/19/2021	02/19/2021		03/01/2021	44.10
1496 - Steiner Electric Co Inc	S006825899.001	JC CIR BREAKER	Paid by EFT # 63970		02/02/2021	02/18/2021	02/18/2021		03/01/2021	233.50
1978 - Tri-Dim Filter Corp	2422305-1	JC FILTERS LATE	Paid by Check # 374046		01/27/2021	02/18/2021	02/18/2021		03/01/2021	506.16
3502 - Wm F Meyer Co	S3964591.001	JC CLINIC FAUCET	Paid by Check # 374055		02/03/2021	02/18/2021	02/18/2021		03/01/2021	103.08
5933 - Urban Elevator Service Inc	15133754-200777	jc assist fire vendor 02/12	Paid by Check # 374331		02/19/2021	03/02/2021	03/02/2021		03/15/2021	478.69
5933 - Urban Elevator Service Inc	15133203-200777	JC MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	717.60
9026 - Stenstrom Petroleum Services Group	S160978	4536-001 JC ANNUAL OSFM ISNP & ATG CERT 02/05/21	Paid by EFT # 64266		02/12/2021	03/04/2021	03/04/2021		03/15/2021	700.00
1390 - Menards, Inc.	59939	JC PARTS	Paid by EFT # 64200		03/02/2021	03/04/2021	03/04/2021		03/15/2021	103.49
1390 - Menards, Inc.	59707	JC PARTS	Paid by EFT # 64200		02/25/2021	03/04/2021	03/04/2021		03/15/2021	56.71
1390 - Menards, Inc.	59368	JC PARTS	Paid by EFT # 64200		02/18/2021	03/04/2021	03/04/2021		03/15/2021	109.62
1390 - Menards, Inc.	59245	JC PARTS	Paid by EFT # 64200		02/16/2021	03/04/2021	03/04/2021		03/15/2021	347.88
1390 - Menards, Inc.	59888	JC PARTS	Paid by EFT # 64200		03/01/2021	03/04/2021	03/04/2021		03/15/2021	21.89
3251 - Mechanical Inc dba Helm Service	CHI180925	JC BAS ISSUES ON BOILER SYSTEMSRESET CONTROLLERS SENSOR WIRE UND	Paid by EFT # 64199		02/21/2021	03/04/2021	03/04/2021		03/15/2021	512.45
3251 - Mechanical Inc dba Helm Service	CHI180923	JC WATER LEAK ON BOILER SYSTEM 02/11	Paid by EFT # 64199		02/21/2021	03/04/2021	03/04/2021		03/15/2021	3,723.11



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 081 - Building Mgmt- Judicial Center										
Account 52110 - Repairs and Maint- Buildings										
9429 - Monarch Fire Protection, Inc.	15434	JC REPLACED PIPES THAT WERE LAKING 90"	Paid by EFT # 64205		02/23/2021	03/04/2021	03/04/2021		03/15/2021	645.00
9429 - Monarch Fire Protection, Inc.	15426	ER CALL PIPE LEAKING 3791 JC 02/16&1 & RD FLOOR	Paid by EFT # 64205		02/18/2021	03/04/2021	03/04/2021		03/15/2021	1,383.50
2779 - ILLCO INC	1381395	JC COPPER PROGRESS	Paid by Check # 374258		02/15/2021	03/04/2021	03/04/2021		03/15/2021	77.72
2779 - ILLCO INC	1381448	JC HVAC PARTS	Paid by Check # 374258		02/16/2021	03/04/2021	03/04/2021		03/15/2021	80.19
1679 - McMaster-Carr Supply Co	53616819	JC CEILING TILE ELECTRIC HEATER	Paid by EFT # 64198		02/22/2021	03/04/2021	03/04/2021		03/15/2021	348.90
1662 - Lowes	902193-21	JC PARTS	Paid by Check # 374281		02/17/2021	03/02/2021	03/02/2021		03/15/2021	64.05
1662 - Lowes	902851-21	JC PARTS	Paid by Check # 374281		02/22/2021	03/02/2021	03/02/2021		03/15/2021	104.01
1662 - Lowes	902514-21	JC PARTS	Paid by Check # 374281		02/19/2021	03/02/2021	03/02/2021		03/15/2021	9.46
1662 - Lowes	902876	JC PARTS	Paid by Check # 374281		02/15/2021	03/02/2021	03/02/2021		03/15/2021	34.12
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	95.00
6267 - Chicago Hollow Metal, Inc. (The Door Doctors)	I 2102-67	JC HOLDING DOOR SH005	Paid by Check # 374204		02/24/2021	03/04/2021	03/04/2021		03/15/2021	1,400.00
1360 - Feece Oil Company	3758501	JC GENERATOR	Paid by Check # 374240		01/07/2021	03/04/2021	03/04/2021		03/15/2021	141.59
1391 - Fox Valley Fire & Safety Co	IN00417390	JC ER CALL- 3RD FLOOR WATER FLOW IN ALARM HEATER FROZE & EXPLODE	Paid by EFT # 64125		02/24/2021	03/04/2021	03/04/2021		03/15/2021	1,520.00
1391 - Fox Valley Fire & Safety Co	IN00417079	JC FIRE ALARM FO R5:33 WATERFLOW 3RD FLOOR STAIRS DUAL MONITOR M	Paid by EFT # 64125		02/23/2021	03/04/2021	03/04/2021		03/15/2021	1,140.00
3060 - Grainger Inc	9807502001	JC 12 TOILET SEATS	Paid by EFT # 64136		02/15/2021	03/04/2021	03/04/2021		03/15/2021	107.40
3060 - Grainger Inc	9823300661	JC THRESHOLD	Paid by EFT # 64422		03/02/2021	03/19/2021	03/19/2021		03/24/2021	70.96
8949 - Cybor Fire Protection Company	86338	JC KAN400 ANNUAL PUMP TEST & ENSP C10119161	Paid by EFT # 64377		02/26/2021	03/17/2021	03/17/2021		03/24/2021	1,300.00



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 081 - Building Mgmt- Judicial Center										
Account 52110 - Repairs and Maint- Buildings										
1662 - Lowes	902698-21	JC PARTS	Paid by Check # 374457		02/26/2021	03/17/2021	03/17/2021		03/24/2021	112.04
1662 - Lowes	902098-21	jJC PARTS	Paid by Check # 374457		03/17/2021	03/19/2021	03/19/2021		03/24/2021	13.60
1662 - Lowes	902509	JC PARTS	Paid by Check # 374457		03/09/2021	03/19/2021	03/19/2021		03/24/2021	27.50
1662 - Lowes	902901-21	JC PARTS	Paid by Check # 374457		03/16/2021	03/19/2021	03/19/2021		03/24/2021	15.79
1679 - McMaster-Carr Supply Co	54737822	JC EMERGENCY LIGHTS 311991100	Paid by EFT # 64464		03/11/2021	03/20/2021	03/20/2021		03/24/2021	207.90
8846 - Affiliated Customer Service Incorporated	R75861	JC 2021 P14765 RENEWAL ANN INSP CONTRACT 02/01-01/31/22	Paid by EFT # 64301		01/04/2021	03/17/2021	03/17/2021		03/24/2021	2,263.00
1191 - Alarm Detection Systems Inc	98135-1022-080	2ND QUARTER APR-JUNE ALL 080	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	773.79
2779 - ILLCO INC	1382067	JC TRAP PRIMER	Paid by Check # 374440		03/02/2021	03/19/2021	03/19/2021		03/24/2021	99.30
2779 - ILLCO INC	1381942	JC COMPRESSION SEAL TAPE	Paid by Check # 374440		02/26/2021	03/20/2021	03/20/2021		03/24/2021	119.70
1390 - Menards, Inc.	60287	JC PARTS	Paid by EFT # 64469		03/08/2021	03/20/2021	03/20/2021		03/24/2021	22.83
Account 52110 - Repairs and Maint- Buildings Totals								Invoice Transactions	45	\$21,209.88
Account 52160 - Repairs and Maint- Equipment										
3251 - Mechanical Inc dba Helm Service	CHI180924	JC PUMP 2 REPLACEMENT	Paid by EFT # 64199		02/21/2021	03/04/2021	03/04/2021		03/15/2021	6,840.00
3251 - Mechanical Inc dba Helm Service	CHI181056	JC JJC JAIL REPAIR FAILED RPZ	Paid by EFT # 64466		02/28/2021	03/17/2021	03/17/2021		03/24/2021	3,255.97
8846 - Affiliated Customer Service Incorporated	S159814	JC2021 INSP 5 DEFICIENCIES TO FIX	Paid by EFT # 64301		03/09/2021	03/17/2021	03/17/2021		03/24/2021	1,157.99
Account 52160 - Repairs and Maint- Equipment Totals								Invoice Transactions	3	\$11,253.96
Account 60090 - Utilities- Sewer										
1080 - City of St. Charles	4548508010-2/21	930621 JC 12/30-01/29/21	Paid by EFT # 63826		01/31/2021	02/19/2021	02/19/2021		03/01/2021	585.23
Account 60090 - Utilities- Sewer Totals								Invoice Transactions	1	\$585.23
Account 60100 - Utilities- Water										
1080 - City of St. Charles	4548508010-2/21	930621 JC 12/30-01/29/21	Paid by EFT # 63826		01/31/2021	02/19/2021	02/19/2021		03/01/2021	396.15
Account 60100 - Utilities- Water Totals								Invoice Transactions	1	\$396.15



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Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 081 - Building Mgmt- Judicial Center										
Account 60160 - Cleaning Supplies										
3060 - Grainger Inc	9786979899	JC PI SNOW SHOVELS FOR JANITORS	Paid by EFT # 63875		01/27/2021	02/18/2021	02/18/2021		03/01/2021	73.44
3578 - Warehouse Direct Office Products	4780877-1	JC FOAMING DISINFECTANT	Paid by EFT # 64290		10/29/2020	03/01/2021	03/01/2021		03/15/2021	131.97
3578 - Warehouse Direct Office Products	4888216-0	JC JANITORIAL SUPPLIES	Paid by EFT # 64290		02/12/2021	03/04/2021	03/04/2021		03/15/2021	536.11
3578 - Warehouse Direct Office Products	4912816-0	JC CLEANING SUPPLIES	Paid by EFT # 64571		03/16/2021	03/18/2021	03/18/2021		03/24/2021	486.43
								Account 60160 - Cleaning Supplies Totals	Invoice Transactions 4	\$1,227.95
Account 63000 - Utilities- Natural Gas										
1066 - Constellation NewEnergy-Gas Division, LLC	3127506	BG-164802 JAN 2021 540,OCH JJC JC JAIL GC	Paid by EFT # 64004		02/25/2021	02/26/2021	02/26/2021		03/02/2021	2,878.66
								Account 63000 - Utilities- Natural Gas Totals	Invoice Transactions 1	\$2,878.66
Account 63010 - Utilities- Electric										
10981 - Constellation NewEnergy Inc.	19529711901	7298774-1 JC JJC JAIL 01/27-02/25/2021	Paid by EFT # 64082		02/26/2021	03/01/2021	03/01/2021		03/15/2021	26,078.21
								Account 63010 - Utilities- Electric Totals	Invoice Transactions 1	\$26,078.21
								Sub-Department 081 - Building Mgmt- Judicial Center Totals	Invoice Transactions 74	\$114,694.22
Sub-Department 082 - Building Mgmt- Juv Justice Cntr										
Account 50235 - Public Health Services - Coronavirus										
12566 - Alpha Building Maintenance Service Inc	20552 CK	OCTOBER COVID SPRAYING JJC 10/03/2020 ONCE A MONTH PER CA	Paid by EFT # 64019		01/31/2021	03/01/2021	03/01/2021		03/15/2021	6,700.00
								Account 50235 - Public Health Services - Coronavirus Totals	Invoice Transactions 1	\$6,700.00
Account 52010 - Janitorial Services										
12566 - Alpha Building Maintenance Service Inc	20484 CK	FEB JA JJC JAIL	Paid by EFT # 63792		02/01/2021	02/18/2021	02/18/2021		03/01/2021	4,974.66
12566 - Alpha Building Maintenance Service Inc	20559 CK	JJC 09/11 STRIP & WAX FLOOR PER CA	Paid by EFT # 64019		01/31/2021	03/01/2021	03/01/2021		03/15/2021	2,100.00
12566 - Alpha Building Maintenance Service Inc	20245 CK	REG SVC 09/01-09/30/2020 JC JJC JAIL	Paid by EFT # 64019		09/01/2020	03/01/2021	03/01/2021		03/15/2021	4,974.66
								Account 52010 - Janitorial Services Totals	Invoice Transactions 3	\$12,049.32
Account 52020 - Repairs and Maintenance- Roads										
9293 - M.A.C. Construction, Inc.	3338	01/30,31,02/01	Paid by EFT # 63905		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,100.00
9293 - M.A.C. Construction, Inc.	3364	JJC 02/04-05	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	615.00
9293 - M.A.C. Construction, Inc.	3426	JJC 02/12-13	Paid by EFT # 63905		02/13/2021	02/18/2021	02/18/2021		03/01/2021	775.00



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Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 082 - Building Mgmt- Juv Justice Cntr											
Account 52020 - Repairs and Maintenance- Roads											
9293 - M.A.C. Construction, Inc.	3441	JJC 12/13-15	Paid by EFT # 63905		02/15/2021	02/18/2021	02/18/2021		03/01/2021	650.00	
9293 - M.A.C. Construction, Inc.	3410	JJC 02/08-09	Paid by EFT # 63905		02/09/2021	02/18/2021	02/18/2021		03/01/2021	550.00	
9293 - M.A.C. Construction, Inc.	3409	JC 02/08-09	Paid by EFT # 63905		02/09/2021	02/18/2021	02/18/2021		03/01/2021	2,460.00	
9293 - M.A.C. Construction, Inc.	3387	JJC 02/06	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	325.00	
9293 - M.A.C. Construction, Inc.	3293	JJC 01/16-17	Paid by EFT # 64190		01/18/2021	03/04/2021	03/04/2021		03/15/2021	650.00	
9293 - M.A.C. Construction, Inc.	3461	JJC 02/15-16	Paid by EFT # 64190		02/16/2021	03/04/2021	03/04/2021		03/15/2021	650.00	
9293 - M.A.C. Construction, Inc.	3502	02/22 JJC	Paid by EFT # 64190		02/22/2021	03/04/2021	03/04/2021		03/15/2021	325.00	
9293 - M.A.C. Construction, Inc.	3490	02/18 JJC	Paid by EFT # 64190		02/21/2021	03/04/2021	03/04/2021		03/15/2021	325.00	
9293 - M.A.C. Construction, Inc.	3416	JJC 02/10	Paid by EFT # 64190		02/10/2021	03/04/2021	03/04/2021		03/15/2021	125.00	
9293 - M.A.C. Construction, Inc.	3299	01/19-20 JJC	Paid by EFT # 64190		01/20/2021	03/04/2021	03/04/2021		03/15/2021	300.00	
9293 - M.A.C. Construction, Inc.	3278	01/15- JJC	Paid by EFT # 64190		01/15/2021	03/04/2021	03/04/2021		03/15/2021	125.00	
9293 - M.A.C. Construction, Inc.	3515	JJC 03/1/X2	Paid by EFT # 64461		03/17/2021	03/20/2021	03/20/2021		03/24/2021	400.00	
									Account 52020 - Repairs and Maintenance- Roads Totals	Invoice Transactions 15	\$9,375.00
Account 52110 - Repairs and Maint- Buildings											
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	45.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	45.00	
3060 - Grainger Inc	9796247063	JJC PI PLUMBING PARTS	Paid by EFT # 63875		02/04/2021	02/18/2021	02/18/2021		03/01/2021	246.76	
3060 - Grainger Inc	9791991194	JJC PI PARTS	Paid by EFT # 63875		02/01/2021	02/18/2021	02/18/2021		03/01/2021	138.12	
1662 - Lowes	902047-21	JJC PARTS	Paid by Check # 374281		02/23/2021	03/02/2021	03/02/2021		03/15/2021	23.74	
1390 - Menards, Inc.	59274	JJC PARTS	Paid by EFT # 64200		02/17/2021	03/04/2021	03/04/2021		03/15/2021	81.95	
5933 - Urban Elevator Service Inc	15133198-000665	JJC MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	239.20	
1216 - Waste Management of Illinois - West	4062664-2011-5	109548113005 MARCH 540,GC,JC JJC 1240	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	266.25	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 082 - Building Mgmt- Juv Justice Cntr											
Account 52110 - Repairs and Maint- Buildings											
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	45.00	
1360 - Feece Oil Company	3758502	JJC GENERATOR FUEL	Paid by Check # 374240		01/07/2021	03/04/2021	03/04/2021		03/15/2021	219.99	
2680 - Fox Valley Sewer Service	202427	JJC ROD MAIN SEWER LINE FOR CELL BLOCK	Paid by Check # 374248		01/27/2021	03/04/2021	03/04/2021		03/15/2021	525.00	
2680 - Fox Valley Sewer Service	203201	JJC ROD TOILET & KITCHEN DRAIN	Paid by Check # 374248		02/25/2021	03/04/2021	03/04/2021		03/15/2021	467.50	
1390 - Menards, Inc.	60364	JJC PARTS TOILET	Paid by EFT # 64469		03/10/2021	03/20/2021	03/20/2021		03/24/2021	263.97	
11281 - State Industrial Products	901903296	JAIL JJC JC SHUT YOUR TRAP	Paid by EFT # 64541		03/15/2021	03/20/2021	03/20/2021		03/24/2021	327.75	
3251 - Mechanical Inc dba Helm Service	CHI181056	JC JJC JAIL REPAIR FAILED RPZ	Paid by EFT # 64466		02/28/2021	03/17/2021	03/17/2021		03/24/2021	3,255.96	
3060 - Grainger Inc	9824772488	JJC METERING VALVE GASKET	Paid by EFT # 64422		03/03/2021	03/20/2021	03/20/2021		03/24/2021	594.56	
2147 - Illini Power Products	SW0029785-1	BP0000539 JJC RESET EXERCISE CLOCK TO SATURDAY	Paid by Check # 374441		03/04/2021	03/17/2021	03/17/2021		03/24/2021	373.50	
								Account 52110 - Repairs and Maint- Buildings Totals		Invoice Transactions 17	\$7,159.25
Account 52160 - Repairs and Maint- Equipment											
2803 - Neuco Inc	4879578	JJC BOILER	Paid by EFT # 63923		02/04/2021	02/18/2021	02/18/2021		03/01/2021	380.57	
								Account 52160 - Repairs and Maint- Equipment Totals		Invoice Transactions 1	\$380.57
Account 52260 - Grease Trap- Septic Services											
1799 - Black Gold Septic Inc	28444	JJC GREASE TRAP FEB	Paid by Check # 373941		02/08/2021	02/18/2021	02/18/2021		03/01/2021	180.00	
1799 - Black Gold Septic Inc	28667	JJC GREASE TRAP	Paid by Check # 374384		03/09/2021	03/20/2021	03/20/2021		03/24/2021	180.00	
								Account 52260 - Grease Trap- Septic Services Totals		Invoice Transactions 2	\$360.00
Account 60090 - Utilities- Sewer											
1080 - City of St. Charles	4548508010-03/21	930621 JC 01/29-02/28/21	Paid by EFT # 64362		03/01/2021	03/20/2021	03/20/2021		03/24/2021	1,227.23	
								Account 60090 - Utilities- Sewer Totals		Invoice Transactions 1	\$1,227.23
Account 60100 - Utilities- Water											
1080 - City of St. Charles	4548508010-03/21	930621 JC 01/29-02/28/21	Paid by EFT # 64362		03/01/2021	03/20/2021	03/20/2021		03/24/2021	816.15	
								Account 60100 - Utilities- Water Totals		Invoice Transactions 1	\$816.15
Account 60160 - Cleaning Supplies											
3578 - Warehouse Direct Office Products	4780016-1	JJC AIR FRESHENER BO	Paid by EFT # 64290		10/19/2020	03/01/2021	03/01/2021		03/15/2021	125.64	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 082 - Building Mgmt- Juv Justice Cntr											
Account 60160 - Cleaning Supplies											
3578 - Warehouse Direct Office Products	4758030-0	JJC FOAM DISINFECT	Paid by EFT #		09/02/2020	03/01/2021	03/01/2021		03/15/2021	229.60	
			64290								
3578 - Warehouse Direct Office Products	4888238-0	JJC JANITORIAL SUPPLIES	Paid by EFT #		02/12/2021	03/04/2021	03/04/2021		03/15/2021	762.85	
			64290								
3578 - Warehouse Direct Office Products	4912799-0	JJC CLEANING	Paid by EFT #		03/16/2021	03/18/2021	03/18/2021		03/24/2021	185.48	
			64571								
							Account 60160 - Cleaning Supplies Totals	Invoice Transactions	4	<u>\$1,303.57</u>	
Account 63000 - Utilities- Natural Gas											
1066 - Constellation NewEnergy-Gas Division, LLC	3127506	BG-164802 JAN 2021 540,OCH JJC JC JAIL GC	Paid by EFT #		02/25/2021	02/26/2021	02/26/2021		03/02/2021	1,926.79	
			64004								
							Account 63000 - Utilities- Natural Gas Totals	Invoice Transactions	1	<u>\$1,926.79</u>	
Account 63010 - Utilities- Electric											
10981 - Constellation NewEnergy Inc.	19529711901	7298774-1 JC JJC JAIL 01/27-02/25/2021	Paid by EFT #		02/26/2021	03/01/2021	03/01/2021		03/15/2021	6,671.17	
			64082								
							Account 63010 - Utilities- Electric Totals	Invoice Transactions	1	<u>\$6,671.17</u>	
								Sub-Department 082 - Building Mgmt- Juv Justice Cntr Totals	Invoice Transactions	47	<u>\$47,969.05</u>
Sub-Department 083 - Building Mgmt- North Campus											
Account 50235 - Public Health Services - Coronavirus											
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38843	COVID GC 1ST FLOOR & KBC COURTROOM	Paid by EFT #		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,950.00	
			63942								
							Account 50235 - Public Health Services - Coronavirus Totals	Invoice Transactions	1	<u>\$1,950.00</u>	
Account 52000 - Disposal and Water Softener Svcs											
1216 - Waste Management of Illinois - West	4062664-2011-5	109548113005 MARCH 540,GC,JC JJC 1240	Paid by EFT #		02/26/2021	03/04/2021	03/04/2021		03/15/2021	116.50	
			64291								
							Account 52000 - Disposal and Water Softener Svcs Totals	Invoice Transactions	1	<u>\$116.50</u>	
Account 52010 - Janitorial Services											
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38838	01/18-02/29/21 GC OCH CAC NORTH C AURORA	Paid by EFT #		02/02/2021	02/18/2021	02/18/2021		03/01/2021	3,009.77	
			63942								
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38851	02/01-02/14 ACONTRACTED SERVICES	Paid by EFT #		02/16/2021	03/04/2021	03/04/2021		03/15/2021	2,992.75	
			64227								
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38987	03/01-03/12 CONTRACT SVC GC OCH NCAMPUS 1240 ELECTION	Paid by EFT #		03/16/2021	03/17/2021	03/17/2021		03/24/2021	2,812.19	
			64500								
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38971	02/15-02/26 ALL BLDGS	Paid by EFT #		03/03/2021	03/17/2021	03/17/2021		03/24/2021	2,735.78	
			64500								
							Account 52010 - Janitorial Services Totals	Invoice Transactions	4	<u>\$11,550.49</u>	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 083 - Building Mgmt- North Campus											
Account 52020 - Repairs and Maintenance- Roads											
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT # 64048		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68	
									Account 52020 - Repairs and Maintenance- Roads Totals	Invoice Transactions 1	<u>1,067.68</u>
Account 52110 - Repairs and Maint- Buildings											
8601 - Johnson Controls Security Solutions (Tyco)	35477385	133225948 KBC 03/01-03/31/2021	Paid by EFT # 63895		02/06/2021	02/18/2021	02/18/2021		03/01/2021	418.50	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	32.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	32.00	
8388 - Havlicek Geneva Ace Hardware LLC	86337	KBC PARTS	Paid by EFT # 64148		01/07/2021	03/02/2021	03/02/2021		03/15/2021	6.12	
8388 - Havlicek Geneva Ace Hardware LLC	86683	KBC PARTS	Paid by EFT # 64148		01/25/2021	03/02/2021	03/02/2021		03/15/2021	32.69	
1558 - Sherwin Williams	2532-8	KBC BATHROOMS	Paid by EFT # 64254		03/02/2021	03/04/2021	03/04/2021		03/15/2021	34.12	
1390 - Menards, Inc.	59886	KBC PARTS	Paid by EFT # 64200		03/01/2021	03/04/2021	03/04/2021		03/15/2021	14.45	
1390 - Menards, Inc.	60481	KBC PARTS	Paid by EFT # 64469		03/12/2021	03/20/2021	03/20/2021		03/24/2021	34.11	
1390 - Menards, Inc.	60264	KBC PARTS	Paid by EFT # 64469		03/08/2021	03/20/2021	03/20/2021		03/24/2021	11.97	
5933 - Urban Elevator Service Inc	15134289-150100	OCH 100 S THIRD ELEVATOR DOWN MAT STUCK IN DOOR	Paid by Check # 374502		03/12/2021	03/17/2021	03/17/2021		03/24/2021	330.01	
2147 - Illini Power Products	SWO029748-1	BP0000539 CIRCUIT CLERK OVER CRANK FAULT	Paid by Check # 374441		02/24/2021	03/17/2021	03/17/2021		03/24/2021	390.79	
8601 - Johnson Controls Security Solutions (Tyco)	35619956	04/01-04/30/21 133225948 530 randall	Paid by EFT # 64448		03/06/2021	03/17/2021	03/17/2021		03/24/2021	418.50	
8601 - Johnson Controls Security Solutions (Tyco)	35619957	04/01-06/30 21 133244120 540 randall	Paid by EFT # 64448		03/06/2021	03/17/2021	03/17/2021		03/24/2021	726.59	
1191 - Alarm Detection Systems Inc	98135-1022-080	2ND QUARTER APR-JUNE ALL 080	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	724.68	
									Account 52110 - Repairs and Maint- Buildings Totals	Invoice Transactions 14	<u>\$3,206.53</u>
Account 52160 - Repairs and Maint- Equipment											
3470 - Trane US Inc dba Trane	9562620	kbc gas valve	Paid by Check # 374044		01/29/2021	02/18/2021	02/18/2021		03/01/2021	239.28	
2154 - RentalMax LLC (Saint Charles)	446448A-3	BOBCAT RENTAL #2	Paid by Check # 374479		01/02/2021	03/19/2021	03/19/2021		03/24/2021	3,248.00	
									Account 52160 - Repairs and Maint- Equipment Totals	Invoice Transactions 2	<u>\$3,487.28</u>



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 083 - Building Mgmt- North Campus											
Account 52220 - Equipment Lease											
2154 - RentalMax LLC (Saint Charles)	446448B-3	LEASE JAN	Paid by Check # 374025		01/30/2021	02/18/2021	02/18/2021		03/01/2021	3,248.00	
2154 - RentalMax LLC (Saint Charles)	446448C-3	9781 LEASE THRU 02/27/2021 5MONTHS TOTAL	Paid by Check # 374312		02/27/2021	03/05/2021	03/05/2021		03/15/2021	3,248.00	
									Account 52220 - Equipment Lease Totals	Invoice Transactions 2	\$6,496.00
Account 60090 - Utilities- Sewer											
1080 - City of St. Charles	4543404563-421	010523 540 HSE 01/30-02/28/21	Paid by EFT # 64361		03/01/2021	03/20/2021	03/20/2021		03/24/2021	96.30	
									Account 60090 - Utilities- Sewer Totals	Invoice Transactions 1	\$96.30
Account 60100 - Utilities- Water											
1080 - City of St. Charles	4543404563-2/21	010523 540 HSE 12/30-01/30/21	Paid by EFT # 63825		01/31/2021	02/19/2021	02/19/2021		03/01/2021	187.99	
1080 - City of St. Charles	4543404563-421	010523 540 HSE 01/30-02/28/21	Paid by EFT # 64361		03/01/2021	03/20/2021	03/20/2021		03/24/2021	81.07	
									Account 60100 - Utilities- Water Totals	Invoice Transactions 2	\$269.06
Account 60160 - Cleaning Supplies											
3578 - Warehouse Direct Office Products	4884564-0	NORTH CAMPUS JANITORIAL SUPPLIES	Paid by EFT # 64290		02/09/2021	03/04/2021	03/04/2021		03/15/2021	628.36	
									Account 60160 - Cleaning Supplies Totals	Invoice Transactions 1	\$628.36
Account 63010 - Utilities- Electric											
1080 - City of St. Charles	4549045330-02/21	030418 540 RANDALL 12/30/-01/30/21	Paid by EFT # 63827		01/31/2021	02/19/2021	02/19/2021		03/01/2021	9,180.34	
1080 - City of St. Charles	4543404563-2/21	010523 540 HSE 12/30-01/30/21	Paid by EFT # 63825		01/31/2021	02/19/2021	02/19/2021		03/01/2021	63.38	
1080 - City of St. Charles	4549045330-421	030418 540 RANDALL 01/30-02/28/21	Paid by EFT # 64364		03/01/2021	03/20/2021	03/20/2021		03/24/2021	9,941.95	
1080 - City of St. Charles	4543404563-421	010523 540 HSE 01/30-02/28/21	Paid by EFT # 64361		03/01/2021	03/20/2021	03/20/2021		03/24/2021	63.28	
									Account 63010 - Utilities- Electric Totals	Invoice Transactions 4	\$19,248.95
									Sub-Department 083 - Building Mgmt- North Campus Totals	Invoice Transactions 33	\$48,117.15
Sub-Department 084 - Building Mgmt- Aurora Health											
Account 52000 - Disposal and Water Softener Svcs											
1216 - Waste Management of Illinois - West	4062664-2011-5	109548113005 MARCH 540,GC,JC JJC 1240	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	79.88	
									Account 52000 - Disposal and Water Softener Svcs Totals	Invoice Transactions 1	\$79.88
Account 52010 - Janitorial Services											
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38838	01/18-02/29/21 GC OCH CAC NORTH C AURORA	Paid by EFT # 63942		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,104.27	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 084 - Building Mgmt- Aurora Health											
Account 52010 - Janitorial Services											
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38851	02/01-02/14 ACONTRACTED SERVICES	Paid by EFT # 64227		02/16/2021	03/04/2021	03/04/2021		03/15/2021	1,234.69	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38987	03/01-03/12 CONTRACT SVC GC OCH NCAMPUS 1240 ELECTION	Paid by EFT # 64500		03/16/2021	03/17/2021	03/17/2021		03/24/2021	1,126.65	
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38971	02/15-02/26 ALL BLDGS	Paid by EFT # 64500		03/03/2021	03/17/2021	03/17/2021		03/24/2021	1,122.40	
								Account 52010 - Janitorial Services Totals		Invoice Transactions 4	\$4,588.01
Account 52020 - Repairs and Maintenance- Roads											
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT # 64048		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68	
								Account 52020 - Repairs and Maintenance- Roads Totals		Invoice Transactions 1	\$1,067.68
Account 52110 - Repairs and Maint- Buildings											
2470 - Ace Hardware-Aurora/Batavia	K30587	1240 PARTS	Paid by Check # 373933		01/28/2021	02/18/2021	02/18/2021		03/01/2021	17.18	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	57.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	57.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	102.00	
1390 - Menards, Inc.	59277	1240 STE 5 PARTS	Paid by EFT # 64200		02/17/2021	03/04/2021	03/04/2021		03/15/2021	33.74	
1390 - Menards, Inc.	59577	1240 PARTS	Paid by EFT # 64200		02/23/2021	03/04/2021	03/04/2021		03/15/2021	27.12	
9535 - Temperature Equipment Corporation	6671688-00	1330 CAPACITOR	Paid by EFT # 64274		02/19/2021	03/04/2021	03/04/2021		03/15/2021	401.91	
5933 - Urban Elevator Service Inc	15133867-001240	1240 PRESSURE TES WITNESS FEE	Paid by Check # 374331		02/19/2021	03/02/2021	03/02/2021		03/15/2021	225.00	
5933 - Urban Elevator Service Inc	15133197-001240	1240 MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	119.60	
1561 - Midwest Environmental Consulting Services, Inc.	21-163	1240 SUITE 5 MOLD MANAGEMENT	Paid by EFT # 64472		03/17/2021	03/17/2021	03/17/2021		03/24/2021	3,036.00	
7955 - Cipher Technology Solutions Inc (CTS of Illinois)	I3007	1240 ALARM MONITORING 03/01	Paid by Check # 374396		03/01/2021	03/17/2021	03/17/2021		03/24/2021	120.00	
1045 - City of Aurora	ELEV-00428-03/21	1240 HIGHLAND H005386 ANN INSPECTION CHARGES	Paid by Check # 374397		03/04/2021	03/19/2021	03/19/2021		03/24/2021	114.00	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 084 - Building Mgmt- Aurora Health											
Account 52110 - Repairs and Maint- Buildings											
6971 - Frega Painting & Decorating Inc	1448	1240 SUITE 5 PAINTING	Paid by Check # 374432		03/17/2021	03/17/2021	03/17/2021		03/24/2021	3,970.00	
									Account 52110 - Repairs and Maint- Buildings Totals	Invoice Transactions 13	\$8,280.55
Account 60090 - Utilities- Sewer											
4526 - Fifth Third Bank	1775-RG-01/21	UATTEND, FOX METRO, CAR WASH	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	185.46	
									Account 60090 - Utilities- Sewer Totals	Invoice Transactions 1	\$185.46
Account 60100 - Utilities- Water											
1045 - City of Aurora	13501918970-421	0076386878 01/02-03/05/21 1240	Paid by Check # 374399		03/15/2021	03/20/2021	03/20/2021		03/24/2021	218.80	
1045 - City of Aurora	13501972528-421	0060277918 1330 01/01-03/05/21 1330	Paid by Check # 374398		03/15/2021	03/20/2021	03/20/2021		03/24/2021	168.80	
									Account 60100 - Utilities- Water Totals	Invoice Transactions 2	\$387.60
Account 63000 - Utilities- Natural Gas											
2253 - Nicor Gas	3243210006-321	2986574 1330 01/13-02/11/21	Paid by Check # 374014		02/11/2021	02/19/2021	02/19/2021		03/01/2021	362.51	
2253 - Nicor Gas	3243210006-0421	2986574 02/11-03/12/21	Paid by Check # 374468		03/12/2021	03/17/2021	03/17/2021		03/24/2021	306.89	
2253 - Nicor Gas	66664808533-421	2836123 1240 HIGHLAND 02/11-03/12/21	Paid by Check # 374469		03/12/2021	03/20/2021	03/20/2021		03/24/2021	1,213.09	
									Account 63000 - Utilities- Natural Gas Totals	Invoice Transactions 3	\$1,882.49
Account 63010 - Utilities- Electric											
10981 - Constellation NewEnergy Inc.	19397760101	7298774-26 10223996 1240 2NW 01/11-02/29	Paid by EFT # 63832		02/10/2021	02/18/2021	02/18/2021		03/01/2021	32.29	
10981 - Constellation NewEnergy Inc.	19397760901	8087485021 7298774-28 STE 11 1240 01/11-02/09	Paid by EFT # 63832		02/10/2021	02/18/2021	02/18/2021		03/01/2021	100.70	
10981 - Constellation NewEnergy Inc.	19397760701	8087484015 7298774-27 1240 STE 6 01/11-02/29	Paid by EFT # 63832		02/10/2021	02/18/2021	02/18/2021		03/01/2021	132.04	
10981 - Constellation NewEnergy Inc.	19397764201	8087525002 7298774-3 1330 01/11-02/29/21	Paid by EFT # 63832		02/10/2021	02/18/2021	02/18/2021		03/01/2021	322.04	
10981 - Constellation NewEnergy Inc.	19397762301	8087493023 7298774-29 1240 STE 22 01/11-02/09	Paid by EFT # 63832		02/10/2021	02/18/2021	02/18/2021		03/01/2021	43.73	
10981 - Constellation NewEnergy Inc.	19397763801	7298774-52715 1240 HIGHLAND 01//11-02/09/21	Paid by EFT # 64082		02/28/2021	03/01/2021	03/01/2021		03/15/2021	1,531.25	
									Account 63010 - Utilities- Electric Totals	Invoice Transactions 6	\$2,162.05



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 084 - Building Mgmt- Aurora Health Totals										Invoice Transactions 31
										\$18,633.72
Sub-Department 085 - Building Mgmt- Old Courthouse										
Account 52000 - Disposal and Water Softener Srvs										
1216 - Waste Management of Illinois - West	3407545-2011-2	225096313002 OCH 30 YARD ROLLOFF 913360	Paid by EFT # 64572		03/01/2021	03/19/2021	03/19/2021		03/24/2021	258.77
Account 52000 - Disposal and Water Softener Srvs Totals										Invoice Transactions 1
										\$258.77
Account 52010 - Janitorial Services										
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38838	01/18-02/29/21 GC OCH CAC NORTH C AURORA	Paid by EFT # 63942		02/02/2021	02/18/2021	02/18/2021		03/01/2021	2,969.25
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38851	02/01-02/14 ACONTRACTED SERVICES	Paid by EFT # 64227		02/16/2021	03/04/2021	03/04/2021		03/15/2021	3,293.00
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38987	03/01-03/12 CONTRACT SVC GC OCH NCAMPUS 1240 ELECTION	Paid by EFT # 64500		03/16/2021	03/17/2021	03/17/2021		03/24/2021	3,347.02
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38971	02/15-02/26 ALL BLDGS	Paid by EFT # 64500		03/03/2021	03/17/2021	03/17/2021		03/24/2021	3,338.51
Account 52010 - Janitorial Services Totals										Invoice Transactions 4
										\$12,947.78
Account 52020 - Repairs and Maintenance- Roads										
8196 - Peterson Cleaning, Inc. (PCI Services, Inc.)	38838	01/18-02/29/21 GC OCH CAC NORTH C AURORA	Paid by EFT # 63942		02/02/2021	02/18/2021	02/18/2021		03/01/2021	333.00
12727 - Alta Construction Equip of IL dba Martin Implement	SE4/1169	BP0080014 WOLF PAWS TIRES OCH FOR SNOW EQUIPMENT	Paid by EFT # 64020		02/22/2021	03/04/2021	03/04/2021		03/15/2021	1,795.00
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT # 64048		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68
Account 52020 - Repairs and Maintenance- Roads Totals										Invoice Transactions 3
										\$3,195.68
Account 52110 - Repairs and Maint- Buildings										
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	100.00
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	132.00
5896 - Chem-Wise Ecological Pest Management, Inc.	906035	ALL 15026 FEB	Paid by Check # 374203		03/01/2021	03/04/2021	03/04/2021		03/15/2021	100.00
6974 - MB Delivery & Moving Services	2633	OCH DISPOSE OF LD CHAIRS SHELIVING CLEAN BASEMENT	Paid by Check # 374285		02/24/2021	03/04/2021	03/04/2021		03/15/2021	650.00
1390 - Menards, Inc.	57198	OCH PARTS	Paid by EFT # 64200		01/08/2021	03/04/2021	03/04/2021		03/15/2021	135.14
1390 - Menards, Inc.	59405	OCH PARTS	Paid by EFT # 64200		02/19/2021	03/04/2021	03/04/2021		03/15/2021	58.34



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Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 085 - Building Mgmt- Old Courthouse											
Account 52110 - Repairs and Maint- Buildings											
1390 - Menards, Inc.	59276	OCH PARTS	Paid by EFT # 64200		02/17/2021	03/04/2021	03/04/2021		03/15/2021	5.98	
5933 - Urban Elevator Service Inc	15133199-150100	OCH 3RD ST MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	352.56	
5933 - Urban Elevator Service Inc	15133195-000427	CAMPBELL MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	119.60	
1390 - Menards, Inc.	60355	OCH PARTS	Paid by EFT # 64469		03/10/2021	03/20/2021	03/20/2021		03/24/2021	48.65	
1390 - Menards, Inc.	60417	OCH PARTS	Paid by EFT # 64469		03/11/2021	03/20/2021	03/20/2021		03/24/2021	21.67	
1558 - Sherwin Williams	2799-3	OCH SAO	Paid by Check # 374483		03/10/2021	03/20/2021	03/20/2021		03/24/2021	104.96	
8388 - Havlicek Geneva Ace Hardware LLC	87300	OCH PARTS	Paid by EFT # 64432		02/25/2021	03/17/2021	03/17/2021		03/24/2021	4.13	
1191 - Alarm Detection Systems Inc	98135-1022-080	2ND QUARTER APR-JUNE ALL 080	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	1,319.34	
									Account 52110 - Repairs and Maint- Buildings Totals	Invoice Transactions 14	\$3,152.37
Account 60090 - Utilities- Sewer											
1044 - City of Geneva	305000160002-221	40083579 401 CAMPBELL 12/19-01/17//21	Paid by EFT # 63824		01/30/2021	02/19/2021	02/19/2021		03/01/2021	9.46	
1044 - City of Geneva	305000240000-321	39618062 428 JAMES 01/17-02/19/21	Paid by EFT # 64352		02/28/2021	03/20/2021	03/20/2021		03/24/2021	64.17	
1044 - City of Geneva	305000221000-321	28601885 427 campbell 01/17-02/19/21	Paid by EFT # 64355		02/28/2021	03/20/2021	03/20/2021		03/24/2021	25.07	
1044 - City of Geneva	305000460000-321	328545802 OCH 01/17-02/15/21	Paid by EFT # 64349		02/28/2021	03/20/2021	03/20/2021		03/24/2021	413.71	
									Account 60090 - Utilities- Sewer Totals	Invoice Transactions 4	\$512.41
Account 60100 - Utilities- Water											
1044 - City of Geneva	305000160002-221	40083579 401 CAMPBELL 12/19-01/17//21	Paid by EFT # 63824		01/30/2021	02/19/2021	02/19/2021		03/01/2021	14.54	
1044 - City of Geneva	305000160002-321	40083579 401 campbell 01/17-02/19/21	Paid by EFT # 64351		02/28/2021	03/20/2021	03/20/2021		03/24/2021	9.46	
1044 - City of Geneva	305000240000-321	39618062 428 JAMES 01/17-02/19/21	Paid by EFT # 64352		02/28/2021	03/20/2021	03/20/2021		03/24/2021	112.45	
1044 - City of Geneva	305000221000-321	28601885 427 campbell 01/17-02/19/21	Paid by EFT # 64355		02/28/2021	03/20/2021	03/20/2021		03/24/2021	41.74	



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Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 085 - Building Mgmt- Old Courthouse											
Account 60100 - Utilities- Water											
1044 - City of Geneva	305000460000-321	328545802 OCH 01/17-02/15/21	Paid by EFT # 64349		02/28/2021	03/20/2021	03/20/2021		03/24/2021	689.62	
									Account 60100 - Utilities- Water Totals	Invoice Transactions 5	\$867.81
Account 60160 - Cleaning Supplies											
3578 - Warehouse Direct Office Products	4890984-0	OCH TP	Paid by EFT # 64290		02/17/2021	03/04/2021	03/04/2021		03/15/2021	128.52	
									Account 60160 - Cleaning Supplies Totals	Invoice Transactions 1	\$128.52
Account 63000 - Utilities- Natural Gas											
1066 - Constellation NewEnergy-Gas Division, LLC	3127506	BG-164802 JAN 2021 540,OCH JJC JC JAIL GC	Paid by EFT # 64004		02/25/2021	02/26/2021	02/26/2021		03/02/2021	3,191.91	
2253 - Nicor Gas	88751210001-421	4402684 428 JAMES 01/22-02/22/21	Paid by Check # 374299		02/22/2021	03/01/2021	03/01/2021		03/15/2021	134.02	
									Account 63000 - Utilities- Natural Gas Totals	Invoice Transactions 2	\$3,325.93
Account 63010 - Utilities- Electric											
1044 - City of Geneva	305000160002-221	40083579 401 CAMPBELL 12/19-01/17//21	Paid by EFT # 63824		01/30/2021	02/19/2021	02/19/2021		03/01/2021	48.90	
1044 - City of Geneva	305000160002-121	40083579 401 campbell 11/18-12/19/2020	Paid by EFT # 64348		12/28/2020	03/20/2021	03/20/2021		03/24/2021	90.10	
1044 - City of Geneva	305000160002-321	40083579 401 campbell 01/17-02/19/21	Paid by EFT # 64351		02/28/2021	03/20/2021	03/20/2021		03/24/2021	56.42	
1044 - City of Geneva	305000240000-321	39618062 428 JAMES 01/17-02/19/21	Paid by EFT # 64352		02/28/2021	03/20/2021	03/20/2021		03/24/2021	1,120.99	
1044 - City of Geneva	305000221000-321	28601885 427 campbell 01/17-02/19/21	Paid by EFT # 64355		02/28/2021	03/20/2021	03/20/2021		03/24/2021	580.43	
1044 - City of Geneva	305000460000-321	328545802 OCH 01/17-02/15/21	Paid by EFT # 64349		02/28/2021	03/20/2021	03/20/2021		03/24/2021	3,856.62	
									Account 63010 - Utilities- Electric Totals	Invoice Transactions 6	\$5,753.46
									Sub-Department 085 - Building Mgmt- Old Courthouse Totals	Invoice Transactions 40	\$30,142.73
Sub-Department 086 - Building Mgmt- Sheriff Facility											
Account 52000 - Disposal and Water Softener Svcs											
1216 - Waste Management of Illinois - West	4062669-2011-4	109556553005 777 E FABYAN OLD JAIL MARCH	Paid by EFT # 64291		02/26/2021	03/04/2021	03/04/2021		03/15/2021	53.25	
									Account 52000 - Disposal and Water Softener Svcs Totals	Invoice Transactions 1	\$53.25



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 086 - Building Mgmt- Sheriff Facility											
Account 52010 - Janitorial Services											
12566 - Alpha Building Maintenance Service Inc	20484 CK	FEB JA JJC JAIL	Paid by EFT # 63792		02/01/2021	02/18/2021	02/18/2021		03/01/2021	4,974.66	
12566 - Alpha Building Maintenance Service Inc	20245 CK	REG SVC 09/01-09/30/2020 JC JJC JAIL	Paid by EFT # 64019		09/01/2020	03/01/2021	03/01/2021		03/15/2021	4,974.66	
									Account 52010 - Janitorial Services Totals	Invoice Transactions 2	\$9,949.32
Account 52020 - Repairs and Maintenance- Roads											
9293 - M.A.C. Construction, Inc.	3339	JAIL 01/30/31/02/01	Paid by EFT # 63905		02/02/2021	02/18/2021	02/18/2021		03/01/2021	1,900.00	
9293 - M.A.C. Construction, Inc.	3365	02/04-05 JAIL	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	925.00	
9293 - M.A.C. Construction, Inc.	3427	JAIL 02/12-13	Paid by EFT # 63905		02/13/2021	02/18/2021	02/18/2021		03/01/2021	1,350.00	
9293 - M.A.C. Construction, Inc.	3442	JAIL 02/13-15	Paid by EFT # 63905		02/15/2021	02/18/2021	02/18/2021		03/01/2021	1,100.00	
9293 - M.A.C. Construction, Inc.	3411	JAIL 02/08-09	Paid by EFT # 63905		02/09/2021	02/18/2021	02/18/2021		03/01/2021	950.00	
9293 - M.A.C. Construction, Inc.	3388	02/06 JAIL	Paid by EFT # 63905		02/07/2021	02/18/2021	02/18/2021		03/01/2021	550.00	
9293 - M.A.C. Construction, Inc.	3462	JAIL 02/15-16	Paid by EFT # 64190		02/16/2021	03/04/2021	03/04/2021		03/15/2021	1,100.00	
9293 - M.A.C. Construction, Inc.	3503	02/22 JAIL	Paid by EFT # 64190		02/22/2021	03/04/2021	03/04/2021		03/15/2021	550.00	
9293 - M.A.C. Construction, Inc.	3491	02/18 JAIL	Paid by EFT # 64190		02/21/2021	03/04/2021	03/04/2021		03/15/2021	550.00	
9293 - M.A.C. Construction, Inc.	3417	02/10 JAIL	Paid by EFT # 64190		02/10/2021	03/04/2021	03/04/2021		03/15/2021	250.00	
9293 - M.A.C. Construction, Inc.	3300	JAIL 01/19-20	Paid by EFT # 64190		01/20/2021	03/04/2021	03/04/2021		03/15/2021	575.00	
9293 - M.A.C. Construction, Inc.	3279	01/15 JAIL	Paid by EFT # 64190		01/15/2021	03/04/2021	03/04/2021		03/15/2021	250.00	
1043 - Cargill Incorporated (Cargill Deicing Technology)	2906056559	03/01 ROAD SALT CLEARLANE 5586049	Paid by EFT # 64048		03/01/2021	03/04/2021	03/04/2021		03/15/2021	1,067.68	
9293 - M.A.C. Construction, Inc.	3516	JAIL 03/15X2	Paid by EFT # 64461		03/17/2021	03/20/2021	03/20/2021		03/24/2021	700.00	
									Account 52020 - Repairs and Maintenance- Roads Totals	Invoice Transactions 14	\$11,817.68
Account 52110 - Repairs and Maint- Buildings											
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-846904	154026 ALL BLDGS	Paid by Check # 373949		02/01/2021	02/18/2021	02/18/2021		03/01/2021	45.00	
5896 - Chem-Wise Ecological Pest Management, Inc.	P0221-844707	JAN ALL BLDGS	Paid by Check # 373949		01/01/2021	02/18/2021	02/18/2021		03/01/2021	45.00	
2779 - ILLCO INC	1381330	JAIL CHECK VALVE	Paid by Check # 373992		02/12/2021	02/18/2021	02/18/2021		03/01/2021	74.06	



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 086 - Building Mgmt- Sheriff Facility										
Account 52110 - Repairs and Maint- Buildings										
2779 - ILLCO INC	1381332	JAIL CHECK VAVLE	Paid by Check # 373992		02/12/2021	02/18/2021	02/18/2021		03/01/2021	769.84
1662 - Lowes	902586-21	JAIL PARTS HEATERS	Paid by Check # 374006		02/06/2021	02/18/2021	02/18/2021		03/01/2021	258.70
3251 - Mechanical Inc dba Helm Service	CHI180639	JAIL GUN RANGE RTU NOT HEATING/FROZEN TUBING NEW IGNITER PRESSUR	Paid by EFT # 63913		01/24/2021	02/18/2021	02/18/2021		03/01/2021	386.33
3251 - Mechanical Inc dba Helm Service	CHI180799	JAIL PRE FILTER ALARM CAROS CHANGED FILTER	Paid by EFT # 63913		02/07/2021	02/18/2021	02/18/2021		03/01/2021	307.47
1390 - Menards, Inc.	58577	JAIL PARTS	Paid by EFT # 63914		02/04/2021	02/19/2021	02/19/2021		03/01/2021	33.74
1390 - Menards, Inc.	58465	JAIL PARTS	Paid by EFT # 63914		02/02/2021	02/19/2021	02/19/2021		03/01/2021	49.59
2224 - Royal Pipe & Supply Co	S1501481.001	JAIL METCRAFT DIAPHRAGM KITS & PUSHBUTTON MANIFOLD VALVE	Paid by Check # 374027		02/08/2021	02/18/2021	02/18/2021		03/01/2021	1,711.59
3060 - Grainger Inc	9791991186	JAIL PI TOILETSASSEMBLY	Paid by EFT # 63875		02/01/2021	02/18/2021	02/18/2021		03/01/2021	92.70
5933 - Urban Elevator Service Inc	15133200-100755	JAIL MARCH	Paid by Check # 374331		02/20/2021	03/02/2021	03/02/2021		03/15/2021	1,196.00
1558 - Sherwin Williams	6641-9	JAIL PAINT	Paid by EFT # 64254		02/25/2021	03/04/2021	03/04/2021		03/15/2021	68.24
1558 - Sherwin Williams	6241-8	JAIL PAINT	Paid by EFT # 64254		02/17/2021	03/04/2021	03/04/2021		03/15/2021	58.80
1390 - Menards, Inc.	59357	JAIL PARTS	Paid by EFT # 64200		02/18/2021	03/04/2021	03/04/2021		03/15/2021	33.81
1390 - Menards, Inc.	59400	JAIL PARTS	Paid by EFT # 64200		02/19/2021	03/04/2021	03/04/2021		03/15/2021	32.47
1390 - Menards, Inc.	59290	JAIL PARTS	Paid by EFT # 64200		02/17/2021	03/04/2021	03/04/2021		03/15/2021	27.25
1360 - Feece Oil Company	3758500	JAIL GENERATOR FUEL	Paid by Check # 374240		01/07/2021	03/04/2021	03/04/2021		03/15/2021	28.31
8346 - Assurance Fire & Safety Inc	9520	02/19 FLEET MAINT CERT FIRE EXT	Paid by EFT # 64026		02/21/2021	03/04/2021	03/04/2021		03/15/2021	82.45
1191 - Alarm Detection Systems Inc	98135-1022-080	2ND QUARTER APR-JUNE ALL 080	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	315.93
1662 - Lowes	902155-21	JAIL PARTS	Paid by Check # 374457		03/12/2021	03/19/2021	03/19/2021		03/24/2021	43.55



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Fund 001 - General Fund											
Department 080 - Building Management											
Sub-Department 086 - Building Mgmt- Sheriff Facility											
Account 52110 - Repairs and Maint- Buildings											
1662 - Lowes	902589-21	JAIL PARTS	Paid by Check # 374457		03/09/2021	03/19/2021	03/19/2021		03/24/2021	3.88	
1390 - Menards, Inc.	60054	JAIL PARTS	Paid by EFT # 64469		03/04/2021	03/20/2021	03/20/2021		03/24/2021	37.97	
1390 - Menards, Inc.	60743	JAIL PAINT	Paid by EFT # 64469		03/17/2021	03/20/2021	03/20/2021		03/24/2021	32.69	
2803 - Neuco Inc	4977545	JAIL BOILERS`	Paid by EFT # 64478		03/17/2021	03/17/2021	03/17/2021		03/24/2021	85.70	
11281 - State Industrial Products	901903299	JAIL SHUT YOUR TRAP	Paid by EFT # 64541		03/15/2021	03/20/2021	03/20/2021		03/24/2021	655.50	
3578 - Warehouse Direct Office Products	4905101-0	JAIL DRAIN CLEANER	Paid by EFT # 64571		03/11/2021	03/18/2021	03/18/2021		03/24/2021	49.98	
3060 - Grainger Inc	9826985229	JAIL SLOAN PLUMBING PARTS	Paid by EFT # 64422		03/05/2021	03/20/2021	03/20/2021		03/24/2021	261.65	
									Account 52110 - Repairs and Maint- Buildings Totals	Invoice Transactions 28	\$6,788.20
Account 52160 - Repairs and Maint- Equipment											
1755 - Dreisilker Electric Motors Inc	I 171698	JAIL MOTOR BALDOR REPAIR	Paid by EFT # 63849		12/18/2020	02/18/2021	02/18/2021		03/01/2021	688.48	
2110 - DuPage Water Conditioning Co	46398	JAIL REPAIRED FLOAT & AIR CHECK SOUTH TOWER 2850 SEAL KIT	Paid by Check # 373982		02/01/2021	02/18/2021	02/18/2021		03/01/2021	320.75	
3251 - Mechanical Inc dba Helm Service	CHI180703	JAIL REPLACE MIXING VALVE FOR SHOP BOILER ROOM	Paid by EFT # 63913		01/31/2021	02/18/2021	02/18/2021		03/01/2021	1,253.81	
3251 - Mechanical Inc dba Helm Service	CHI180636	JAIL BOILER TOWER MIXING VALVESREPLACE NEW MIXING VALVE	Paid by EFT # 63913		01/24/2021	02/18/2021	02/18/2021		03/01/2021	1,783.45	
3251 - Mechanical Inc dba Helm Service	CHI180635	JAIL SOUTH TOWER MIXING VALVE REPAIR KITS	Paid by EFT # 63913		01/24/2021	02/18/2021	02/18/2021		03/01/2021	2,706.90	
3251 - Mechanical Inc dba Helm Service	CHI180634	JAIL NORTH TOWER MIXING VALVE REPAIR KITS	Paid by EFT # 63913		01/24/2021	02/18/2021	02/18/2021		03/01/2021	2,716.30	
3251 - Mechanical Inc dba Helm Service	CHI180679	JAIL KITCHEN AREA PIPING REPAIRS	Paid by EFT # 63913		01/24/2021	02/18/2021	02/18/2021		03/01/2021	2,264.84	
3251 - Mechanical Inc dba Helm Service	CHI180927	JAIL RTU E-1 NOT RUNNING PROPERLY	Paid by EFT # 64199		02/21/2021	03/04/2021	03/04/2021		03/15/2021	1,229.88	
3251 - Mechanical Inc dba Helm Service	CHI180926	JAIL REPLACE 10 CHECK VALVES FOR DOMESTIC HW PIPING F POD	Paid by EFT # 64199		02/21/2021	03/04/2021	03/04/2021		03/15/2021	1,977.43	



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 086 - Building Mgmt- Sheriff Facility										
Account 52160 - Repairs and Maint- Equipment										
3251 - Mechanical Inc dba Helm Service	CHI180844	JAIL RTU B-1 BEARINGS GONE	Paid by EFT # 64199		02/14/2021	03/04/2021	03/04/2021		03/15/2021	4,804.86
3251 - Mechanical Inc dba Helm Service	CHI180845	JAIL KITCHEN REPAIR FLANGES ON TANK & CHECK VALVE	Paid by EFT # 64199		02/14/2021	03/04/2021	03/04/2021		03/15/2021	2,838.91
3251 - Mechanical Inc dba Helm Service	CHI181056	JC JJC JAIL REPAIR FAILED RPZ	Paid by EFT # 64466		02/28/2021	03/17/2021	03/17/2021		03/24/2021	3,255.96
2412 - Suburban Tire Company	0811529	2012 COLORADO PI REPAIRS	Paid by Check # 374490		02/10/2021	03/17/2021	03/17/2021		03/24/2021	63.97
2779 - ILLCO INC	1382232	JAIL CHECK VALVE	Paid by Check # 374440		03/05/2021	03/19/2021	03/19/2021		03/24/2021	1,710.76
							Account 52160 - Repairs and Maint- Equipment Totals		Invoice Transactions 14	<u>\$27,616.30</u>
Account 52260 - Grease Trap- Septic Services										
1799 - Black Gold Septic Inc	28419	JAIL GREASE TRAP FEB	Paid by Check # 373941		02/08/2021	02/18/2021	02/18/2021		03/01/2021	485.00
1799 - Black Gold Septic Inc	28666	JAIL GREASE RAP	Paid by Check # 374384		03/09/2021	03/20/2021	03/20/2021		03/24/2021	485.00
							Account 52260 - Grease Trap- Septic Services Totals		Invoice Transactions 2	<u>\$970.00</u>
Account 60090 - Utilities- Sewer										
1080 - City of St. Charles	4549184420-2/21	080716 JAIL 12/30-01/29/01	Paid by EFT # 63828		01/31/2021	02/19/2021	02/19/2021		03/01/2021	9,162.35
1044 - City of Geneva	198004215000-321	78132548 CORR COMP 01/01-02/21	Paid by EFT # 64069		02/15/2021	03/01/2021	03/01/2021		03/15/2021	113.87
1044 - City of Geneva	198004215000-421	78132548 CORR COMP 02/05-03/01/21	Paid by EFT # 64357		03/15/2021	03/20/2021	03/20/2021		03/24/2021	113.87
1080 - City of St. Charles	4549184420-321	080716 JAIL 01/29-02/28/21	Paid by EFT # 64363		03/01/2021	03/20/2021	03/20/2021		03/24/2021	9,149.51
							Account 60090 - Utilities- Sewer Totals		Invoice Transactions 4	<u>\$18,539.60</u>
Account 60100 - Utilities- Water										
1080 - City of St. Charles	4549184420-2/21	080716 JAIL 12/30-01/29/01	Paid by EFT # 63828		01/31/2021	02/19/2021	02/19/2021		03/01/2021	6,021.72
1044 - City of Geneva	198004215000-321	78132548 CORR COMP 01/01-02/21	Paid by EFT # 64069		02/15/2021	03/01/2021	03/01/2021		03/15/2021	175.02
1044 - City of Geneva	198004215000-421	78132548 CORR COMP 02/05-03/01/21	Paid by EFT # 64357		03/15/2021	03/20/2021	03/20/2021		03/24/2021	175.02
1080 - City of St. Charles	4549184420-321	080716 JAIL 01/29-02/28/21	Paid by EFT # 64363		03/01/2021	03/20/2021	03/20/2021		03/24/2021	6,013.32
							Account 60100 - Utilities- Water Totals		Invoice Transactions 4	<u>\$12,385.08</u>
Account 60160 - Cleaning Supplies										
3578 - Warehouse Direct Office Products	4780903-1	JAIL FOAM DISINFECT	Paid by EFT # 64290		10/29/2020	03/01/2021	03/01/2021		03/15/2021	175.96



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 086 - Building Mgmt- Sheriff Facility										
Account 60160 - Cleaning Supplies										
3578 - Warehouse Direct Office Products	4744140-1	JAIL FOAM DISINFECT	Paid by EFT #		10/29/2020	03/01/2021	03/01/2021		03/15/2021	175.96
			64290							
3578 - Warehouse Direct Office Products	4758026-0	JAIL FOAM DISINFECT	Paid by EFT #		09/02/2020	03/01/2021	03/01/2021		03/15/2021	229.60
			64290							
3578 - Warehouse Direct Office Products	4888372-0	JAIL CLEANING SUPPLIES	Paid by EFT #		03/01/2021	03/04/2021	03/04/2021		03/15/2021	125.64
			64290							
3578 - Warehouse Direct Office Products	4888201-0	JAIL JANITORIAL SUPPLIES	Paid by EFT #		02/12/2021	03/04/2021	03/04/2021		03/15/2021	277.81
			64290							
3578 - Warehouse Direct Office Products	4912774-0	JAIL JANITORIAL SUPPLIES	Paid by EFT #		03/16/2021	03/18/2021	03/18/2021		03/24/2021	270.33
			64571							
Account 60160 - Cleaning Supplies Totals								Invoice Transactions	6	\$1,255.30
Account 60210 - Uniform Supplies										
1762 - Discount Uniform Co	1355	03/02 3 PAIRS PANTS JAIL CONTRACT	Paid by EFT #		03/02/2021	03/20/2021	03/20/2021		03/24/2021	68.70
			64381							
Account 60210 - Uniform Supplies Totals								Invoice Transactions	1	\$68.70
Account 63000 - Utilities- Natural Gas										
1066 - Constellation NewEnergy-Gas Division, LLC	3127506	BG-164802 JAN 2021 540,OCH JJC JC JAIL GC	Paid by EFT #		02/25/2021	02/26/2021	02/26/2021		03/02/2021	3,443.70
			64004							
Account 63000 - Utilities- Natural Gas Totals								Invoice Transactions	1	\$3,443.70
Account 63010 - Utilities- Electric										
1044 - City of Geneva	198004236000-321	90681198 bomb squad 12/28-02/01/21	Paid by EFT #		02/15/2021	03/01/2021	03/01/2021		03/15/2021	43.79
			64074							
1044 - City of Geneva	198004215000-321	78132548 CORR COMP 01/01-02/21	Paid by EFT #		02/15/2021	03/01/2021	03/01/2021		03/15/2021	2,444.95
			64069							
1044 - City of Geneva	198004209000-321	329434919 OEM 777 FABYAN 01/01-02/01/21	Paid by EFT #		02/15/2021	03/01/2021	03/01/2021		03/15/2021	111.32
			64072							
10981 - Constellation NewEnergy Inc.	19529711901	7298774-1 JC JJC JAIL 01/27-02/25/2021	Paid by EFT #		02/26/2021	03/01/2021	03/01/2021		03/15/2021	27,897.63
			64082							
1044 - City of Geneva	198004236000-421	90681198 bomb squad 02/01-03/01/21	Paid by EFT #		03/15/2021	03/20/2021	03/20/2021		03/24/2021	33.57
			64358							
1044 - City of Geneva	198004209000-421	329434919 02/01-03/01/21 OEM	Paid by EFT #		03/15/2021	03/20/2021	03/20/2021		03/24/2021	95.96
			64353							
1044 - City of Geneva	198004215000-421	78132548 CORR COMP 02/05-03/01/21	Paid by EFT #		03/15/2021	03/20/2021	03/20/2021		03/24/2021	2,086.40
			64357							
Account 63010 - Utilities- Electric Totals								Invoice Transactions	7	\$32,713.62
Sub-Department 086 - Building Mgmt- Sheriff Facility Totals								Invoice Transactions	84	\$125,600.75



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Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 088 - Bldg Mgmt- ROE Office & Supplies										
Account 52210 - Building Lease										
10211 - Batavia Enterprises, Inc	ROE 04/01/21	ROE LEASE FOR APRIL 2021	Paid by EFT # 64032		03/01/2021	03/04/2021	03/04/2021		03/15/2021	12,166.53
							Account 52210 - Building Lease Totals		Invoice Transactions 1	\$12,166.53
							Sub-Department 088 - Bldg Mgmt- ROE Office & Supplies Totals		Invoice Transactions 1	\$12,166.53
Sub-Department 089 - Bldg Mgmt - Multi-Use Facility										
Account 52020 - Repairs and Maintenance- Roads										
1919 - Sign Tech Inc	26193	MUF FACILITY MGMT PARKING ONLY 15 SIGNS	Paid by Check # 374484		03/10/2021	03/20/2021	03/20/2021		03/24/2021	450.00
							Account 52020 - Repairs and Maintenance- Roads Totals		Invoice Transactions 1	\$450.00
Account 52110 - Repairs and Maint- Buildings										
1191 - Alarm Detection Systems Inc	SI-544812	220130 MUF INSTALL RADIO FIRE MONITORING & PROATED \$\$\$	Paid by EFT # 64304		03/03/2021	03/17/2021	03/17/2021		03/24/2021	940.22
1191 - Alarm Detection Systems Inc	220130-1001	MUF QUARTERLY APR-JUN 2021	Paid by EFT # 64304		03/07/2021	03/17/2021	03/17/2021		03/24/2021	129.00
4526 - Fifth Third Bank	1775-RG-02/21	02/08-03/01 SFM POST BOX TREASURER, UATTEND, TYLER WASH KNOX BOX	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	2,075.00
							Account 52110 - Repairs and Maint- Buildings Totals		Invoice Transactions 3	\$3,144.22
Account 52160 - Repairs and Maint- Equipment										
12590 - R.C. Wegman Construction Company	2020-10-020521	MUF BLDG MGMT ELECTRIC CHAIN HOIST	Paid by EFT # 63951		02/05/2021	02/18/2021	02/18/2021		03/01/2021	3,424.00
12590 - R.C. Wegman Construction Company	2020_10_02222 1	MUF FM HYDROBLASTER PRESSURE WASHER	Paid by EFT # 64239		02/22/2021	03/04/2021	03/04/2021		03/15/2021	5,320.00
							Account 52160 - Repairs and Maint- Equipment Totals		Invoice Transactions 2	\$8,744.00
Account 63000 - Utilities- Natural Gas										
2253 - Nicor Gas	16328793290-221	5040464 MUF 12/19-01/27/21	Paid by Check # 374015		01/27/2021	02/18/2021	02/18/2021		03/01/2021	158.29
2253 - Nicor Gas	16328793290-321	5040464 MUF 01/27-02/25/21	Paid by Check # 374298		02/25/2021	03/04/2021	03/04/2021		03/15/2021	4,005.23
							Account 63000 - Utilities- Natural Gas Totals		Invoice Transactions 2	\$4,163.52
Account 63010 - Utilities- Electric										
1054 - ComEd	6856203011-321	230046589 11/23-12/28/2020	Paid by Check # 373959		12/28/2020	02/18/2021	02/18/2021		03/01/2021	2,022.95
1054 - ComEd	6856203011-421	MUF 230046589 01/27-02/25/21	Paid by Check # 374226		02/25/2021	03/04/2021	03/04/2021		03/15/2021	2,235.86



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 001 - General Fund										
Department 080 - Building Management										
Sub-Department 089 - Bldg Mgmt - Multi-Use Facility										
Account 63010 - Utilities- Electric										
1054 - ComEd	6856203011-221	MUF 230046589 12/28-01/27	Paid by Check # 374227		01/27/2021	03/04/2021	03/04/2021		03/15/2021	1,700.89
							Account 63010 - Utilities- Electric Totals	Invoice Transactions	3	\$5,959.70
							Sub-Department 089 - Bldg Mgmt - Multi-Use Facility Totals	Invoice Transactions	11	\$22,461.44
							Department 080 - Building Management Totals	Invoice Transactions	468	\$537,354.12
							Fund 001 - General Fund Totals	Invoice Transactions	516	\$574,512.93
Fund 101 - Geographic Information Systems										
Department 060 - Information Technologies										
Sub-Department 070 - Geographic Information Systems										
Account 50150 - Contractual/Consulting Services										
1191 - Alarm Detection Systems Inc	98135-1022-060G	ADS Q2-2021 GIS	Paid by EFT # 64304		03/07/2021	03/19/2021	03/19/2021		03/24/2021	210.00
							Account 50150 - Contractual/Consulting Services Totals	Invoice Transactions	1	\$210.00
Account 53100 - Conferences and Meetings										
1116 - Environmental Systems Research Inst Inc (ESRI)	93982525	Developer Summit 2021 Registration Fee 04/06/21 to 04/08/21 TSN	Paid by EFT # 64396		02/04/2021	03/19/2021	03/19/2021		03/24/2021	399.00
4526 - Fifth Third Bank	8811-TSN-02/21	Mastercard 02/05/2021 -03/04/2021 8811 Feb 2021 TSN	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	135.00
							Account 53100 - Conferences and Meetings Totals	Invoice Transactions	2	\$534.00
Account 53130 - General Association Dues										
4526 - Fifth Third Bank	8811-TSN-02/21	Mastercard 02/05/2021 -03/04/2021 8811 Feb 2021 TSN	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	390.00
4616 - Thomas S. Nicoski	031121	2021 Membership Dues for IL IAAO	Paid by Check # 374470		03/11/2021	03/19/2021	03/19/2021		03/24/2021	30.00
4606 - Salvatore Pintacura	031121	2021 Membership Dues for IL IAAO	Paid by EFT # 64507		03/11/2021	03/19/2021	03/19/2021		03/24/2021	30.00
							Account 53130 - General Association Dues Totals	Invoice Transactions	3	\$450.00
Account 60000 - Office Supplies										
4526 - Fifth Third Bank	8811-TN-01/21	MasterCard 01/05/21 to 02/04/2021- TSN 8811 Jan 2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	404.38
12287 - Century Springs/Ove Water Services	2649355	Inv#2649355 - Water (2), Delivery & March 2021 Rent	Paid by EFT # 64055		02/26/2021	03/04/2021	03/04/2021	02/26/2021	03/15/2021	12.50



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 101 - Geographic Information Systems											
Department 060 - Information Technologies											
Sub-Department 070 - Geographic Information Systems											
Account 60000 - Office Supplies											
4526 - Fifth Third Bank	8811-TSN-02/21	Mastercard 02/05/2021 -03/04/2021 8811 Feb 2021 TSN	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	414.43	
4606 - Salvatore Pintacura	031121A	Kohls - Shirt for GISDay2020 STP	Paid by EFT # 64507		03/11/2021	03/19/2021	03/19/2021		03/24/2021	30.00	
									Account 60000 - Office Supplies Totals	Invoice Transactions 4	<u>\$861.31</u>
Account 60020 - Computer Related Supplies											
4526 - Fifth Third Bank	8811-TSN-02/21	Mastercard 02/05/2021 -03/04/2021 8811 Feb 2021 TSN	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	423.28	
5540 - The Tree House Inc	101018	Inv#101018 - Toner C9371A	Paid by Check # 374491		03/09/2021	03/19/2021	03/19/2021		03/24/2021	51.55	
									Account 60020 - Computer Related Supplies Totals	Invoice Transactions 2	<u>\$474.83</u>
Account 60265 - Public Health Commodities - Coronavirus											
4526 - Fifth Third Bank	8811-TN-01/21	MasterCard 01/05/21 to 02/04/2021- TSN 8811 Jan 2021	Paid by EFT # 63863		02/04/2021	02/19/2021	02/19/2021		03/01/2021	404.55	
10890 - Gatza Electric, Inc.	2023	Inv#2023 Electrical - wiring of new cubicle	Paid by EFT # 64415		03/10/2021	03/19/2021	03/19/2021		03/24/2021	330.00	
									Account 60265 - Public Health Commodities - Coronavirus Totals	Invoice Transactions 2	<u>\$734.55</u>
Account 70000 - Computers											
4526 - Fifth Third Bank	8811-TSN-02/21	Mastercard 02/05/2021 -03/04/2021 8811 Feb 2021 TSN	Paid by EFT # 64404		03/04/2021	03/19/2021	03/19/2021		03/24/2021	1,980.00	
									Account 70000 - Computers Totals	Invoice Transactions 1	<u>\$1,980.00</u>
									Sub-Department 070 - Geographic Information Systems Totals	Invoice Transactions 15	<u>\$5,244.69</u>
									Department 060 - Information Technologies Totals	Invoice Transactions 15	<u>\$5,244.69</u>
									Fund 101 - Geographic Information Systems Totals	Invoice Transactions 15	<u>\$5,244.69</u>
Fund 390 - Web Technical Services											
Department 060 - Information Technologies											
Sub-Department 337 - Web Technical Services											
Account 50150 - Contractual/Consulting Services											
8437 - Phoenix Staffing & Management Systems	25543	week ending 02/07/2021	Paid by EFT # 63944		02/07/2021	02/16/2021	02/16/2021		03/01/2021	2,600.00	
8437 - Phoenix Staffing & Management Systems	25549	Week ending 02/14/2021	Paid by EFT # 63944		02/14/2021	02/17/2021	02/17/2021		03/01/2021	2,080.00	
8437 - Phoenix Staffing & Management Systems	25555	Week ending 02/21/2021	Paid by EFT # 64230		02/21/2021	03/01/2021	03/01/2021		03/15/2021	2,080.00	
8437 - Phoenix Staffing & Management Systems	25561	Week ending 02/28/2021	Paid by EFT # 64230		02/28/2021	03/03/2021	03/03/2021		03/15/2021	2,600.00	



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 390 - Web Technical Services										
Department 060 - Information Technologies										
Sub-Department 337 - Web Technical Services										
Account 50150 - Contractual/Consulting Services										
2324 - Cassie Design	203525	website design	Paid by EFT # 64050		03/02/2021	03/03/2021	03/03/2021		03/15/2021	1,470.00
8437 - Phoenix Staffing & Management Systems	25567	Week ending 3/7/2021	Paid by EFT # 64504		03/07/2021	03/15/2021	03/15/2021		03/24/2021	2,600.00
8437 - Phoenix Staffing & Management Systems	25573	Consulting Services	Paid by EFT # 64504		03/14/2021	03/17/2021	03/17/2021		03/24/2021	2,600.00
Account 50150 - Contractual/Consulting Services Totals									Invoice Transactions 7	\$16,030.00
Account 50340 - Software Licensing Cost										
5461 - Roger Fahnestock	03032021	Software needed for Adam Tedder	Paid by Check # 374236		03/03/2021	03/03/2021	03/03/2021		03/15/2021	120.00
1119 - Gordon Flesch Company Inc	PR10003644	PR10003644 Laserfiche LSAP Renewal	Paid by EFT # 64134		12/10/2020	03/03/2021	03/03/2021		03/15/2021	46,614.60
3341 - Harris Computer Systems (Municipal Software)	MUNCT0000009	Electronic Plans Review	Paid by Check # 374252		01/14/2021	03/05/2021	03/05/2021		03/15/2021	31,349.00
4526 - Fifth Third Bank	2999-BP-2/21	Peters MasterCard 02/05/2021-03/04/2021	Paid by EFT # 64404		03/04/2021	03/16/2021	03/16/2021		03/24/2021	979.00
Account 50340 - Software Licensing Cost Totals									Invoice Transactions 4	\$79,062.60
Sub-Department 337 - Web Technical Services Totals									Invoice Transactions 11	\$95,092.60
Department 060 - Information Technologies Totals									Invoice Transactions 11	\$95,092.60
Fund 390 - Web Technical Services Totals									Invoice Transactions 11	\$95,092.60
Fund 520 - Mill Creek Special Service Area										
Department 690 - Development										
Sub-Department 730 - Mill Creek Special Service Area										
Account 50150 - Contractual/Consulting Services										
11639 - Adesta LLC	CSINV0013029	MC 2021 JAN Locates, CNTR #0012607, Acct #KA5202	Paid by EFT # 64014		02/17/2021	02/23/2021	02/23/2021		03/15/2021	262.50
Account 50150 - Contractual/Consulting Services Totals									Invoice Transactions 1	\$262.50
Account 50160 - Legal Services										
1822 - Ottosen DiNolfo, Hasenbalg & Castaldo Ltd	132902	MC 20212 JAN Legal Counsel	Paid by EFT # 64219		01/31/2021	02/23/2021	02/23/2021		03/15/2021	742.50
Account 50160 - Legal Services Totals									Invoice Transactions 1	\$742.50
Account 52020 - Repairs and Maintenance- Roads										
7390 - County Wide Landscaping Inc	5694	MC 2021 DEC/JAN Snowplowing (#2 of 5)	Paid by EFT # 63840		01/01/2021	02/10/2021	02/10/2021		03/01/2021	8,580.00
7390 - County Wide Landscaping Inc	5716	MC 2021 FEB Snow Pile Relocations	Paid by EFT # 63840		02/04/2021	02/10/2021	02/10/2021		03/01/2021	19,200.00
Account 52020 - Repairs and Maintenance- Roads Totals									Invoice Transactions 2	\$27,780.00



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
Fund 520 - Mill Creek Special Service Area											
Department 690 - Development											
Sub-Department 730 - Mill Creek Special Service Area											
Account 52120 - Repairs and Maint- Grounds											
8523 - Cornerstone Partners Horticultural Services Co.	CP22948	MC 2021 JAN Trash Receptacle Maintenance Services (#2 of 4)	Paid by EFT # 63839		02/08/2021	02/10/2021	02/10/2021		03/01/2021	320.19	
8523 - Cornerstone Partners Horticultural Services Co.	CP22949	MC 2021 JAN Trash Patrol Services (#2 of 4)	Paid by EFT # 63839		02/08/2021	02/10/2021	02/10/2021		03/01/2021	424.29	
12644 - Henry Tree Company	1839	MC 2021 JAN Tree Trimming Services	Paid by EFT # 63884		01/17/2021	02/10/2021	02/10/2021		03/01/2021	19,850.00	
8523 - Cornerstone Partners Horticultural Services Co.	CP23057	MC 2021 FEB Trash Patrol (#3 of 4)	Paid by EFT # 64374		03/04/2021	03/08/2021	03/08/2021		03/24/2021	424.29	
8523 - Cornerstone Partners Horticultural Services Co.	CP23059	MC 2021 FEB Trash Receptacle Service (#3 of 4)	Paid by EFT # 64374		03/04/2021	03/08/2021	03/08/2021		03/24/2021	320.19	
									Account 52120 - Repairs and Maint- Grounds Totals	Invoice Transactions 5	\$21,338.96
Account 52180 - Building Space Rental											
9183 - Tri City Land Management Co., LLC	4490411R001M AR21	MC 2021 MAR Office Rent	Paid by EFT # 64560		03/01/2021	03/08/2021	03/08/2021		03/24/2021	1,057.12	
									Account 52180 - Building Space Rental Totals	Invoice Transactions 1	\$1,057.12
Account 52250 - Intersect Lighting Services											
10562 - Kellenberger Electric, Inc	021721-01BS	MC 2021 Electrical Conduit Work (39W250 Herrington)	Paid by EFT # 63898		02/17/2021	02/10/2021	02/10/2021		03/01/2021	1,980.00	
10562 - Kellenberger Electric, Inc	020421-09BS	MC 2021 Electrical Work - Light Poles	Paid by EFT # 64175		02/04/2021	03/03/2021	03/03/2021		03/15/2021	1,570.00	
									Account 52250 - Intersect Lighting Services Totals	Invoice Transactions 2	\$3,550.00
Account 53070 - Legal Printing											
3245 - Paddock Publications (Daily Herald)	170909	MC 2021 BID #06-021 Street Sweeps Legal Notice	Paid by Check # 374474		02/07/2021	03/08/2021	03/08/2021		03/24/2021	27.60	
									Account 53070 - Legal Printing Totals	Invoice Transactions 1	\$27.60
Account 55000 - Miscellaneous Contractual Exp											
5202 - Engineering Resource Associates, Inc.	180215B0.05	MC 2020 DEC ADA Sidewalk Project Wrap Up	Paid by EFT # 64114		12/25/2020	03/03/2021	03/03/2021		03/15/2021	250.00	
									Account 55000 - Miscellaneous Contractual Exp Totals	Invoice Transactions 1	\$250.00
Account 63020 - Utilities- Intersect Lighting											
1054 - ComEd	6148132018-A0121	MC 2021 JAN/FEB (01/06-02/04), Acct #6148132018, Current Charges	Paid by Check # 374213		02/05/2021	02/23/2021	02/23/2021		03/15/2021	112.45	



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 520 - Mill Creek Special Service Area										
Department 690 - Development										
Sub-Department 730 - Mill Creek Special Service Area										
Account 63020 - Utilities- Intersect Lighting										
1054 - ComEd	0371017042-A0121	MC 2021 JAN/FEB (01/12-02/10), Acct #0371017042 Current Charges	Paid by Check # 374213		02/11/2021	02/23/2021	02/23/2021		03/15/2021	31.49
1054 - ComEd	0018171063-A1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	43.43
1054 - ComEd	0203153397-H1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	23.24
1054 - ComEd	0340143026-B1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	19.61
1054 - ComEd	1553036026-C1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	87.47
1054 - ComEd	5631065056-D1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	35.36
1054 - ComEd	6148196021-E1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	28.11
1054 - ComEd	6148197028-F1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	22.82
1054 - ComEd	6667000013-G1220	MC 2021 DEC/JAN (12/01-01/12) Summary Acct #0463054408	Paid by Check # 374212		02/02/2021	02/23/2021	02/23/2021		03/15/2021	63.14
1054 - ComEd	8676003015-A0221	MC 2021 FEB (01/28-02/26) Acct #8676003015 Current Charges	Paid by Check # 374213		02/26/2021	03/08/2021	03/08/2021		03/15/2021	191.96



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 520 - Mill Creek Special Service Area										
Department 690 - Development										
Sub-Department 730 - Mill Creek Special Service Area										
Account 63020 - Utilities- Intersect Lighting										
2253 - Nicor Gas	3905811675JAF E21	MC 2021 JAN/FEB (1/20-2/18), Meter #4209788	Paid by Check # 374292		02/18/2021	02/23/2021	02/23/2021		03/15/2021	87.17
1054 - ComEd	0018171063-A0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	43.48
1054 - ComEd	0203153397-H0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	33.94
1054 - ComEd	0340143026-B0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	19.61
1054 - ComEd	1553036026-C0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	84.20
1054 - ComEd	5631065056-D0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	31.13
1054 - ComEd	6148196021-E0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	28.11
1054 - ComEd	6148197028-F0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	19.61
1054 - ComEd	6667000013-G0121	MC 2021 JAN/FEB (01/04-02/10) Summary Acct #04630544078	Paid by Check # 374405		03/03/2021	03/08/2021	03/08/2021		03/24/2021	53.10
1054 - ComEd	6148132018-A0221	MC 2021 FEB/MAR (2/4-3/5) Acct #6148132018 Current Charges	Paid by Check # 374406		03/08/2021	03/15/2021	03/15/2021		03/24/2021	114.50

Account **63020 - Utilities- Intersect Lighting** Totals
 Sub-Department **730 - Mill Creek Special Service Area** Totals

Invoice Transactions 21
 Invoice Transactions 35

\$1,173.93
\$56,182.61



Administration Accounts Payable by GL Distribution

Payment Date Range 03/01/21 - 03/31/21

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount		
Fund 520 - Mill Creek Special Service Area												
										Department 690 - Development Totals	Invoice Transactions 35	\$56,182.61
										Fund 520 - Mill Creek Special Service Area Totals	Invoice Transactions 35	\$56,182.61
										Grand Totals	Invoice Transactions 577	\$731,032.83

**Kane County Purchasing Card Information
Administration Committee
March 2021 Statement**

BUILDING MANAGEMENT			
Transaction Date	Merchant Name	Additional Information	Transaction Amount
3/18/2021	4IMPRINT	877-4467746	\$199.95
3/19/2021	4IMPRINT	877-4467746	(\$11.76)
3/24/2021	FOX METRO WATER RECLAM	630-8924378	\$131.91
3/24/2021	FOX METRO WATER RECLAM	630-8924378	\$180.88
4/1/2021	4IMPRINT	877-4467746	\$1,202.98
4/1/2021	UATTEND.COM	CARLSBAD	\$135.00
Total:			\$1,838.96

INFORMATION TECHNOLOGIES DEPARTMENT			
Transaction Date	Merchant Name	Additional Information	Transaction Amount
3/4/2021	AMAZON.COM UZ7C51383 A	AMZN.COM/BILL	\$23.99
3/4/2021	AMZN MKTP US	AMZN.COM/BILL	(\$80.55)
3/4/2021	APCO INTERNATIONAL INC	386-944-2422	\$95.00
3/5/2021	SENDGRID 1-877-969-864	877-9698647	\$14.95
3/6/2021	FS TYPINGMASTER	877-3278914	\$52.06
3/6/2021	GOOGLE YOUTUBE TV	650-253-0000	\$64.99
3/7/2021	AMZN MKTP US GX6IX3433	AMZN.COM/BILL	\$26.17
3/7/2021	AMZN MKTP US MK1NV1KK3	AMZN.COM/BILL	\$159.98
3/7/2021	AMZN MKTP US VH3FA7I23	AMZN.COM/BILL	\$11.49
3/8/2021	DNH GODADDY.COM	480-5058855	\$390.32
3/9/2021	AMAZON.COM RY8T39HZ3 A	AMZN.COM/BILL	\$100.24
3/9/2021	AMZN MKTP US CN7P71VZ3	AMZN.COM/BILL	\$220.00
3/9/2021	DNH GODADDY.COM	480-5058855	\$37.51
3/9/2021	TWILIO 3529KLQ9L0L	SAN FRANCISCO	\$10.07
3/10/2021	800.COM, LLC	800-800-4321	\$693.84
3/10/2021	BESTBUYCOM806433414655	RICHFIELD	\$659.98
3/11/2021	AMZN MKTP US 2A8K71EV0	AMZN.COM/BILL	\$7.56
3/11/2021	AMZN MKTP US 4Y2BM67W3	AMZN.COM/BILL	\$253.50
3/11/2021	AMZN MKTP US KR3QP86E3	AMZN.COM/BILL	\$69.14
3/11/2021	BESTBUYCOM806433389382	888-BESTBUY	\$1,979.94
3/11/2021	BESTBUYCOM806433414655	RICHFIELD	\$859.98
3/11/2021	BESTBUYCOM806433414655	RICHFIELD	\$859.98

**Kane County Purchasing Card Information
Administration Committee
March 2021 Statement**

3/11/2021	BESTBUYCOM806433414655	RICHFIELD	\$859.98
3/11/2021	BESTBUYCOM806433414655	RICHFIELD	\$1,319.96
3/11/2021	BESTBUYCOM806433765376	RICHFIELD	\$1,979.94
3/11/2021	COMCAST CHICAGO	800-COMCAST	\$147.85
3/11/2021	COMCAST CHICAGO	800-266-2278	\$422.26
3/12/2021	MENARDS BATAVIA IL	BATAVIA	\$118.93
3/12/2021	THE HOME DEPOT 1921	GENEVA	\$365.93
3/13/2021	AMZN MKTP US M89VS3PU3	AMZN.COM/BILL	\$1,305.87
3/13/2021	MENARDS SYCAMORE IL	SYCAMORE	\$15.98
3/14/2021	AMAZON.COM 618FO5CQ3	AMZN.COM/BILL	\$60.40
3/14/2021	AMZN MKTP US 0M3BE59A3	AMZN.COM/BILL	\$326.36
3/14/2021	AMZN MKTP US 860UI63V3	AMZN.COM/BILL	\$899.94
3/14/2021	AMZN MKTP US AR56F1673	AMZN.COM/BILL	\$58.44
3/14/2021	AMZN MKTP US JC72P1CW3	AMZN.COM/BILL	\$579.41
3/14/2021	AMZN MKTP US L72K76VT3	AMZN.COM/BILL	\$115.94
3/14/2021	AMZN MKTP US O28733Y93	AMZN.COM/BILL	\$579.99
3/14/2021	AMZN MKTP US R64MC5XG3	AMZN.COM/BILL	\$43.14
3/14/2021	AMZN MKTP US YY2GH5QH3	AMZN.COM/BILL	\$239.92
3/14/2021	AMZN MKTP US ZG8ZU45H3	AMZN.COM/BILL	\$2,062.06
3/14/2021	AMZN MKTP US ZI12H6RU3	AMZN.COM/BILL	\$111.47
3/14/2021	BESTBUYCOM806435225114	RICHFIELD	\$16.99
3/14/2021	BESTBUYCOM806435225114	RICHFIELD	\$77.97
3/14/2021	BESTBUYCOM806435225114	RICHFIELD	\$94.96
3/14/2021	BESTBUYCOM806435233775	RICHFIELD	\$55.86
3/15/2021	AMAZON.COM	AMZN.COM/BILL	(\$98.97)
3/15/2021	AMAZON.COM 056T84CN3	AMZN.COM/BILL	\$58.62
3/15/2021	AMZN MKTP US SG3NZ08C3	AMZN.COM/BILL	\$388.46
3/15/2021	COMCAST CHICAGO	800-COMCAST	\$238.35
3/15/2021	MCC MEDIACOM	855-633-4226	\$71.99
3/15/2021	THE HOME DEPOT #1921	GENEVA	\$190.73
3/15/2021	THE HOME DEPOT #1921	GENEVA	\$185.80
3/16/2021	AMAZON.COM 8Q23V7ER3 A	AMZN.COM/BILL	\$168.99
3/16/2021	AMZN MKTP US	AMZN.COM/BILL	(\$286.80)
3/16/2021	AMZN MKTP US AQ41D3ID3	AMZN.COM/BILL	\$456.00

**Kane County Purchasing Card Information
Administration Committee
March 2021 Statement**

3/16/2021	AMZN MKTP US JG0WY8O53	AMZN.COM/BILL	\$53.06
3/16/2021	AMZN MKTP US MN3MD4Y43	AMZN.COM/BILL	\$59.40
3/16/2021	AMZN MKTP US OQ1YA43G3	AMZN.COM/BILL	\$43.78
3/16/2021	AMZN MKTP US VW0FL8623	AMZN.COM/BILL	\$17.90
3/16/2021	BESTBUYCOM806435796127	RICHFIELD	\$1,199.98
3/16/2021	BESTBUYCOM806435796127	RICHFIELD	\$599.99
3/16/2021	MENARDS BATAVIA IL	BATAVIA	\$29.94
3/16/2021	MODERN OFFICE	800-443-5117	\$2,499.00
3/17/2021	AMZN MKTP US XT02Y3453	AMZN.COM/BILL	\$190.70
3/17/2021	BATTERIES PLUS #0493	GENEVA	\$134.95
3/17/2021	DNH GODADDY.COM	480-505-8855	\$150.00
3/17/2021	DNH GODADDY.COM	480-5058855	\$149.98
3/17/2021	DNH GODADDY.COM	4805058855	\$159.98
3/17/2021	THE HOME DEPOT #1921	GENEVA	\$156.17
3/17/2021	THE HOME DEPOT #1921	GENEVA	\$10.53
3/18/2021	AMAZON.COM CP2GD63S3	AMZN.COM/BILL	\$306.30
3/18/2021	AMAZON.COM TG9EC04G3	AMZN.COM/BILL	\$231.72
3/18/2021	BESTBUYCOM806436894882	RICHFIELD	\$259.90
3/18/2021	INITIAL IMPRESSIONS IN	GENEVA	\$5.50
3/18/2021	URISA	8478246300	\$750.00
3/19/2021	AMZN MKTP US JJ6FE9SI3	AMZN.COM/BILL	\$459.62
3/19/2021	APCO INTERNATIONAL INC	386-944-2422	\$95.00
3/19/2021	MENARDS BATAVIA IL	BATAVIA	\$36.47
3/20/2021	AMZN MKTP US QM7SL44Z3	AMZN.COM/BILL	\$9,735.00
3/20/2021	COMCAST CHICAGO	800-COMCAST	\$149.85
3/21/2021	AMAZON.COM 6P2K53163	AMZN.COM/BILL	\$29.99
3/21/2021	AMAZON.COM PF0G90YP3	AMZN.COM/BILL	\$127.80
3/21/2021	AMAZON.COM X54OF50M3	AMZN.COM/BILL	\$149.95
3/21/2021	AMZN MKTP US JT1XN1VO3	AMZN.COM/BILL	\$366.88
3/21/2021	COMCAST CHICAGO	800-COMCAST	\$147.85
3/22/2021	ANIXTER/CLARK/TRI-ED	GLENVIEW	\$1,559.40
3/22/2021	MENARDS BATAVIA IL	BATAVIA	\$46.09
3/23/2021	AMAZON.COM AX41M6SL3 A	AMZN.COM/BILL	\$291.78
3/23/2021	AMAZON.COM LC8N248S3	AMZN.COM/BILL	\$45.56

**Kane County Purchasing Card Information
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3/23/2021	AMZN MKTP US	AMZN.COM/BILL	(\$59.98)
3/23/2021	AMZN MKTP US	AMZN.COM/BILL	(\$59.98)
3/23/2021	AMZN MKTP US	AMZN.COM/BILL	(\$59.98)
3/23/2021	AMZN MKTP US	AMZN.COM/BILL	(\$59.98)
3/23/2021	AMZN MKTP US 638OH2D03	AMZN.COM/BILL	\$210.92
3/23/2021	AMZN MKTP US DZ7PG24X3	AMZN.COM/BILL	\$12.37
3/23/2021	COMCAST CHICAGO	800-COMCAST	\$16.78
3/23/2021	TWILIO 34G3TEP31SK	SAN FRANCISCO	\$10.13
3/24/2021	ATT BILL PAYMENT	800-288-2020	\$93.76
3/24/2021	CONTACT ONE CALL CENTE	520-2929222	\$57.45
3/25/2021	AMAZON.COM	AMZN.COM/BILL	(\$349.90)
3/25/2021	AMAZON.COM 353FG8483	AMZN.COM/BILL	\$47.80
3/25/2021	AMZN MKTP US MF71V59M3	AMZN.COM/BILL	\$37.54
3/25/2021	AMZN MKTP US ZM03T9TU3	AMZN.COM/BILL	\$32.58
3/25/2021	ATT BILL PAYMENT	800-288-2020	\$240.35
3/25/2021	COMCAST CHICAGO	800-COMCAST	\$243.35
3/25/2021	DNH GODADDY.COM	480-5058855	\$149.98
3/26/2021	GOOGLE YOUTUBEPREMIUM	650-253-0000	\$11.99
3/26/2021	ZOOM.US 888-799-9666	SAN JOSE	\$11.50
3/27/2021	AMAZON.COM OB0UD2A03	AMZN.COM/BILL	\$337.80
3/27/2021	MENARDS SYCAMORE IL	SYCAMORE	(\$16.48)
3/28/2021	AMAZON.COM 8M13U94T3	AMZN.COM/BILL	\$166.89
3/28/2021	AMZN MKTP US 8J4II74U3	AMZN.COM/BILL	\$25.00
3/28/2021	AMZN MKTP US ZK3LT9C73	AMZN.COM/BILL	\$116.05
3/28/2021	ZOHO-SITE24X7	9259249500	\$218.88
3/29/2021	DNH GODADDY.COM	4805058855	\$319.96
3/29/2021	NAMETAGCOUNTRY.COM	CHATTANOOGA	\$47.45
3/30/2021	ADVANCE AUTO PARTS 692	BATAVIA	\$18.37
3/30/2021	AMAZON.COM S50BL2CV3 A	AMZN.COM/BILL	\$1,113.04
3/30/2021	AMZN MKTP US O91R68O93	AMZN.COM/BILL	\$123.30
3/30/2021	DNH GODADDY.COM	480-5058855	\$79.99
3/30/2021	SP WEBPARTYSTORE	MURRIETA	\$43.04
3/31/2021	AMZN MKTP US 8O5RE1B43	AMZN.COM/BILL	\$149.99
3/31/2021	AMZN MKTP US ZK93C2HC3	AMZN.COM/BILL	\$413.70

**Kane County Purchasing Card Information
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3/31/2021	MONOPRICE, INC.	8772712592	\$500.10
3/31/2021	SFAX	877-493-1015	\$1,090.00
4/1/2021	AMZN MKTP US 3P8NN5FQ3	AMZN.COM/BILL	\$34.28
4/1/2021	AMZN MKTP US V81X964J3	AMZN.COM/BILL	\$44.96
4/1/2021	FUTURE LINK IT	2245238000	\$60.00
4/1/2021	GOOGLE LLC GSUITE_COUN	MOUNTAIN VIEW	\$138.70
4/1/2021	WWW.RAZER.COM	SAN FRANCISCO	\$2,773.12
4/4/2021	AMAZON.COM M93TX06Y3 A	AMZN.COM/BILL	\$39.29
4/4/2021	AMAZON.COM QF1E42MO3	AMZN.COM/BILL	\$35.45

Total: \$48,452.44

Total all: \$50,291.40



RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

Resolution: No.

Authorizing Contract for Elevator Modernization Project: Government Center Campus Building "A"

Committee Flow: Administration Committee, Finance and Budget Committee, Executive Committee, County Board

Contact: Chris Allen, 6307622174

Budget Information:

Was this item budgeted? Yes	Appropriation Amount: \$107,312.00
If not budgeted, explain funding source:	

Summary:

Bids have been solicited for the 2021 Kane County Elevator Modernization Project (BID #09-021) for Government Campus Building "A". A total of three (3) bids were received and publicly opened on March 16, 2021 at 2:00 pm.

The lowest responsive and responsible bidder for the project was Urban Elevator Service, LLC for a total Base bid of \$97,556, and does not include Alternate #1 (Cab Interior Renovation).

This project will also include a 10% Contingency valued at \$9,756.00 for a total project cost of \$107,312.00. The Contingency amount will be held by Kane County and not part of the contract.

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION: NO.

**AUTHORIZING CONTRACT FOR ELEVATOR MODERNIZATION PROJECT:
GOVERNMENT CENTER CAMPUS BUILDING "A"**

WHEREAS, Bids have been solicited for the 2021 Kane County Elevator Modernization Project (BID #09-021) for Government Center Campus, Bldg "A", 719 S. Batavia Ave, Geneva, IL 60134. A total of three (3) bids were received and opened publicly on March 16, 2021 at 2:00 pm; and

WHEREAS, Cordogan Clark held project scope reviews with the lowest responsive and responsible bidders after the Bid Opening to ensure that they fully understood the scope of work and the contract requirements. Bidders acknowledged full understanding and acceptance of the terms and conditions. Cordogan Clark also reviewed qualification statements and references and are satisfied that they met Cordogan Clark's recommended standards; and

WHEREAS, as per bid documents and specifications, Cordogan Clark recommends that Urban Elevator Service, LLC, 4830 W. 16th Street, Cicero, IL 60804 be awarded the project contract for a total Base bid of \$97,556.00; and

WHEREAS, the submitted proposal consisted of a Base Bid of \$97,556.00 and also included Alternate #1 to provide interior cab renovation for the sum of \$14,450.00. It was determined not to proceed with Alternate #1; and

WHEREAS, it is also highly recommended that a 10% contingency of \$9,756.00 be retained for the project bringing the total contract up to a combined value of \$107,312.00. This combined total is \$2,688.00 below the estimated cost, or 2.44% below the initial project cost estimate of \$110,000.00; and

WHEREAS, it should be noted that the 10% Contingency amount of \$9,756.00 will be held by Kane County and not part of the contract.

NOW, THEREFORE, BE IT RESOLVED by the Kane County Board that the Chairman is hereby authorized to execute a contract for the Kane County Elevator Modernization Project for Government Center Bldg "A" to Urban Elevator Service, LLC of Cicero, IL for the Base Bid amount of Ninety-Seven Thousand, Five Hundred Fifty-Six Dollars (\$97,556.00) and a ten percent (10%) project contingency of Nine Thousand, Seven Hundred Fifty-Six Dollars (\$9,756.00) for a total project cost of One Hundred Seven Thousand, Three Hundred Twelve Dollars (\$107,312.00).

Line Item	Line Item Description	Was Personnel/Item/Service approved in original budget or a subsequent budget revision?	Are funds currently available for this Personnel/Item/Service in the specific line item?	If funds are not currently available in the specified line item, where are the funds available?
500.800.805.72010	Building Improvements	Yes	Yes	N/A

Passed by the Kane County Board on May 11, 2021.

John A. Cunningham
Clerk, County Board
Kane County, Illinois

Corinne M. Pierog MA, MBA
Chairman, County Board
Kane County, Illinois

Vote:

21-05 KC Elevator (Bldg A)

March 31, 2021

Mr. Chris Allen
Interim Executive Director of Building Management
719 Batavia Avenue
Geneva, IL 60134

Re: Building A Elevator Modernization Project Bidder Recommendation

Dear Chris:

The Kane County Building A Elevator Modernization Project was put out to Bid on March 2, 2021. Over eight contractors were notified of the project and six of them obtained bidding documents and/or attended the pre-bid meeting. At the bid opening date of March 16, 2021, we received three bids for the Project.

The attached Bid Tabulation document illustrates the recorded bids. The project construction budget estimate including a 10% contingency was \$110,000.

We proceeded to do a project scope review with lowest responsive and responsible bidders after the Bid Opening to ensure that they fully understood the project and the contract requirements. They acknowledged full understanding and acceptance of the terms and conditions. We also reviewed their qualification statement and references and are satisfied that they meet our recommended standards. A detailed explanation of our recommendation is attached for further information. As such, it is our recommendation that Urban Elevator Service be awarded the Contract for the Base Bid only at the bid total of **\$97,556.00** in accordance with the bidding documents for the aforementioned project. We also recommend that a Project Contingency be set aside for the project for approximately 10% of the Contract Value. The recommended contingency value for the project is **\$9,756**. Thus, a Total Contract amount that is recommended to be allocated to the Project is **\$107,312.00**.

Thank you for this opportunity to serve Kane County on this critical project. Should you require any additional information or clarifications, please do not hesitate to contact me.

Respectfully submitted,

Cordogan Clark



Brian Kronewitter, AIA, DBIA
Executive Vice President

KANE COUNTY GOVERNMENT
Kane County Building A Elevator Upgrade
 March 16, 2020 @ 2:00 p.m.



BID TABULATION:

Vendor Name / Address	Bid Bond	Signed Bid Form	Base Bid	Alt. #1 Cab Interior Renovation	Voluntary Alternate	Total Base Bid
Urban Elevator Service Cicero, IL	X	X	\$97,556.00	\$14,450.00		\$97,556.00
Colley Elevator Company Bensenville, IL	X	X	\$103,615.00	\$13,000.00 to \$15,000.00		\$103,615.00
Total Elevator Romeoville, IL	X	X	\$78,800.00	\$12,500.00		\$78,800.00
Total Apparent Lowest Responsive & Responsible Bidder + Accepted Alternates:						\$97,556

Contingency: 10.00%	\$9,756
Recommended Project Budget:	\$107,312



To : Brian Kronewitter

From : CJ Pavidon, Elevator Consultant

Cordogan Clark c/o Kane County

cjpcei@gmail.com 630.362.8502

RE: Recommendation Report

Modernization Project – Elevator Upgrades Bid Package # 09-021

719 Batavia Avenue, Building “A”, Geneva, Illinois

Recommendation Report

Overview

Notification requests were sent to five elevator contractors to solicit cost bids for the modernization of the elevator cited above. Three elevator contractors submitted cost bids based on our formulated list of specifications equipment upgrades required for contract bid submittals.

Cordogan Clark and our consulting company evaluated the cost bids submitted. Cost analysis in addition to other factors were considered for a recommendation for contract award selection. Evaluations included cost bid overview evaluations with scope interviews of contractors regarding bid costs, equipment specification verifications, management and field personnel evaluations, past job performance records, scheduling projections, bid bond security, insurance requirements, and reference checks.

This is a summary evaluation of the two leading elevator contractors Urban Elevator Company and Total Elevator Company, that of which these two companies submitted cost bids. In addition to this summary, included are our company’s concluding remarks along with our recommendation for contract award.

Bid Cost Analysis

<u>Elevator Contractor</u>	<u>Base Bid Amount</u>	<u>Fire Service Allowance</u>	<u>Electrical Allowance</u>	<u>General Carpentry Allowance</u>	<u>Base Bid Including Total Allowances</u>
Urban Elevator	\$ 78,802	\$ 7,758	\$ 4,496	\$ 6,500	\$ 97,556
Total Elevator	\$ 70,800	\$ 5,500	\$ 2,500	0	\$ 78,800

Cost Evaluation Explanations

Urban Elevator's base bid was higher than Total Elevator base bid by \$8K. Their total combination cost bid along adding other contractor's allowance costs amounted to a variance of \$ 18,756.

Upon further analysis, higher estimated costs bid by Urban Elevator Company were due to cost estimates accounting for our entire equipment specifications list sent out for bids, whereas the cost estimated costs submitted by Total Elevator Company were lower for two primary reasons as discovered during scope interviews with the contractor's representatives.

- 1) Total Elevator's base bid cost bid was formulated according to their their own scope of work equipment specification attachment which did not fully include equipment upgrades as listed in our specifications equipment attachment.

During a scope interview, this contractor indicated their cost estimated did fully include all equipment upgrades per our equipment specifications required, and their submitted cost bid excluded many equipment items as listed on our specifications list indicating numerous discrepancies and inconsistencies.

- 2) Total Elevator's cost bid estimates for outside contractors allowance costs for fire service, electrical and general carpentry scope of work were substantially estimated lower, and this indicated inconsistencies with the scope of work required according for code compliance, and according to industry standards. This was confirmed in their scope interview.

Equipment Specifications

Urban Elevator's base bid amounts fully accounted for the full scope of work according to our entire specification list for equipment upgrade installations, and fully accounted for scope of work by outside contractors as required and for code compliance. This was confirmed in their scope interview.

Total Elevator's base bid amounts did not fully accounted for scope of work for upgrade installs according to our entire specification list for equipment upgrades, and did not fully accounted for scope of work by outside contractors as required for code compliance. This was verified during our scope interview which indicated inconsistencies between their cost bid submittal and our scope interview. Their lower base bid cost bids for outside contractors omitted items as we designated as necessary for code compliance and we considered these items as exclusions for proper cost bidding purposes.

Management and Field Personnel / Past Performance Evaluations

Urban Elevator Company

Urban Elevator's management team was interviewed during our scope meeting and indicated that Urban Elevator management and field personnel teams that of which completed the modernization of the elevator at 719 Batavia Avenue in Building "B", would be the same planned for this modernization project.

Both modernization projects are similar modernization projects. Both management and field personnel that completed Building "B"'s project that installed the upgrades showed acceptable workmanship with high regard standards, completed the project within their scheduled time lines, and complied fully to code as specified in A 17.1 (a) of the newest elevator code upon our acceptance inspection evaluation.

Total Elevator Company

Total Elevator's management team plan for this project would be the same that managed the modernization of the elevator at 719 Batavia Avenue in Building "C". In our scope interview, Total Elevator indicated the field team for this modernization project would be installed by the owner of the company with an apprentice. Both management responsiveness and field personnel workmanship associated with Building "C"'s project for equipment upgrades were evaluated by us previous, and showed average to subpar management and workmanship according to industry standards with many time line scheduling overruns, management's unresponsiveness to our inquiries, and with only partial code compliance which necessitated many revisions for equipment upgrade's functionality, acceptability, and for full code compliance.

Scheduling Projections

Urban Elevator Company

Urban Elevator's scheduling regarding lead times and duration of time for completion of work time lines are consistent with Kane County's time line of completion of work by the end of July. Time lines are acceptable with industry standards

Shop Drawings 2-3 weeks

Lead time for Materials and Equipment Deliveries 10-12 weeks

Completion of Work Time 3 – 4 weeks

Total Elevator Company

Total Elevator's scheduling regarding lead times and duration of time for completion of work time lines are consistent with Kane County's time line of completion of work by the end of July. However, these time lines are faster than industry standards bringing in to question if their time lines projections could be met according to their estimates.

Shop Drawings 2 weeks

Lead time for Materials and Equipment Deliveries 8 weeks

Completion of Work Time 3 weeks

Bid Security

Urban Elevator – Bid Bond – Submitted and Acceptable according to Bid Security Requirements

Total Elevator – Bid Bond – Submitted and Acceptable according to Bid Security Requirements

Insurance Requirements

Urban Elevator – Certificates of Insurance – Submitted and Acceptable according to insurance requirements

Total Elevator – Bid Bond – Submitted and Acceptable according to insurance requirements

References

Urban Elevator – Submitted and acceptable

Total Elevator – Submitted and acceptable

Conclusions

The prior modernization project for Building “B”’s elevator by Urban Elevator showed excellent workmanship regarding the installation of equipment upgrades along within the projected scheduling time lines of which Urban Elevator had agreed to for completing the project in accordance to their contract.

This Building “A”’s modernization project is in a high profile administration building which has only one elevator and so the projected completion schedule for the project is of major importance to complete the project as quickly as possible , and according to industry standards.

In comparing past performance of the modernization project that of which Urban Elevator completed at building “B” elevator modernization project vs. Total Elevator’s past performance of the modernization project completed recently at building “C”, our company concluded that Urban Elevator’s performance was superior in regards to installation workmanship, timeliness, client responsiveness and code compliance.

Urban Elevator's cost bid submittal was fully inclusive of all equipment specifications whereas Total Elevator's cost bid submittal indicated exclusions and inconsistencies regarding planned installations of equipment upgrades and other items of their scope of work for code compliance.

Urban Elevator's cost bid submittal was fully inclusive of scope of work necessary from outside contractors for full code compliance whereas Total Elevator's cost bid submittal omitted scope of work with exclusions for fire service to general carpentry scopes of work from outside contractors for full code compliance.

Urban Elevator is under a full service full maintenance contract to support and maintain the elevator subsequent to the project's completion.

It is also likely to assume that the cost difference between both companies cost bids submittals would be offset in the event Total Elevator requires additional scope of work needed for their completion of work for proper job completion, and more importantly, for code compliance. This is not to mention potential job scheduling delays for facilitating additional work requirements for code compliance acceptance for the Inspection process.

Recommendation

Our company recommends the selection of Urban Elevator for contract award for this modernization project for the following criteria as cited above section.

***CJ Paviion, Elevator Consultant , Elevator Inspector, QEI , MBA, Principal
Certified Elevator Inspection and Consulting Corp.***

**County of Kane
PURCHASING DEPARTMENT
KANE COUNTY GOVERNMENT CENTER**

719 S. Batavia Avenue, Bldg. A.
Geneva, Illinois 60134

Telephone: (630) 232-5929
Fax: (630) 208-5107



April 7, 2021

PROCUREMENT SYNOPSIS

Requesting Department:	Building Management Department
Procurement Name:	Bid 09-021 Building A Elevator Modernization Project
Recommended Vendor:	Urban Elevator Service
Amount of Award:	\$97,556.00

NOTIFICATION AND RESPONSE

Public Notices: • County of Kane's Web site • Dailey Herald

Advertising Date:	March 2, 2021	Notices sent/Plan Holders: 20/11
Bid Due Date:	March 16, 2021	Bids Received: 3

PURPOSE

This bid is seeking service from experienced and qualified vendors to provide elevator modernization services for the Building A Elevator at the Kane County Government Center in Geneva, IL for the Kane County Building Management Department.

Kane County Building Management Department, Cordogan Clark, the architect of record and our Elevator Consultant, evaluated all bids per specifications and contract requirements and determined that Urban Elevator Service of Cicero, IL was the most responsive, responsible bidder for the work to be performed.

BID TABULATION

VENDOR	TOTAL COST
Urban Elevator Service – Cicero, IL	\$97,556.00
Colley Elevator Company - Bensenville, IL	\$103,615.00
Total Elevator – Romeoville, IL	\$78,800.00

Based on cost, experience, and bid compliance, Cordogan Clark, the Elevator Consultant concurred with Building Management Department and recommends the awarding of this contract to Urban Elevator Services of Cicero, IL for \$97,556.00 with 10% contingency of \$9,756.00 pending the parent committee and full Kane County Board's approval.

Submitted By:
Maria C. Calamia, CPPB
Kane County Purchasing Department

CORDOGANCLARK

ARCHITECTS • ENGINEERS • CONSTRUCTION

CONTRACTOR DISLCOSURE AND FAMILIAL RELATIONSHIP DISCLOSURE

As of January 1, 2021, Urban Elevator Service, LLC Company, to the best of our knowledge the Owners,
(Insert Your Company Here)

Officers or Executives have not made any political campaign contributions to any Kane County Elected Official countywide in the last 12 month period.

To the best of our knowledge the Owners, Officers or Executives do not have a familial relationship with any County Elected Official or County Department Director within the last 12-month period. "Familial Relationship" is defined in the attached Public Act 101-0544.

The County may deny, suspend, or terminate the eligibility of a person, firm, corporation, association, agency, institution, or other legal entity to participate as a vendor for goods or services to the County, if the vendor, for contracts greater than \$30,000, fails to disclose to the County a familial relationship between a County Elected Official or County Department Director.

Below is a list of shareholders or owners with at least 5% holdings in Urban Elevator Service, LLC
Company, (Insert Your Company Here)

(Insert Name Here) Rene Hertsberg (Insert Holdings Percentage Here) 50%

(Insert Address Here) 4830 W. 16th St.
Cicero, IL 60804

(Insert Name Here) Tim Cook (Insert Holdings Percentage Here) 50%

(Insert Address Here) 4830 W. 16th St.
Cicero, IL 60804

Officer Title: _____

Date: _____

Subscribed and Sworn this 16 day of MARCH 2021

Notary Public



960 RIDGEWAY AVENUE, AURORA, ILLINOIS 60506 • 716 NORTH WELLS STREET, CHICAGO, ILLINOIS 60654

TEL 630.896.4678 • FAX 630.896.4987

TEL 312.943.7300 • FAX 312.943.4771



CERTIFICATE OF LIABILITY INSURANCE

OP ID: PH

DATE (MM/DD/YYYY)

03/12/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER LiFonti Insurance Services Ltd 2 E. 22nd Street, Suite 317 Lombard, IL 60148 Anthony F LiFonti		CONTACT NAME: Anthony LiFonti PHONE (A/C, No, Ext): 630-268-8200 FAX (A/C, No): 630-268-8222 E-MAIL ADDRESS: Vince@LiFontiInsurance.com PRODUCER CUSTOMER ID #: URBAN-1															
INSURED Urban Elevator Service, LLC 4830 W 16th Street Cicero, IL 60804		<table border="1"> <thead> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A: Great American Ins Co</td> <td>16691</td> </tr> <tr> <td>INSURER B: Liberty Insurance Underwriters</td> <td>19917</td> </tr> <tr> <td>INSURER C: Employers Mutual Casualty Co.</td> <td>21415</td> </tr> <tr> <td>INSURER D: Everest Premier Ins Co</td> <td>16045</td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </tbody> </table>		INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Great American Ins Co	16691	INSURER B: Liberty Insurance Underwriters	19917	INSURER C: Employers Mutual Casualty Co.	21415	INSURER D: Everest Premier Ins Co	16045	INSURER E:		INSURER F:	
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COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY	Y	Y	GLP 195886200	04/01/2020	04/01/2021	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person) \$ 10,000
	<input checked="" type="checkbox"/> Per Elevator						PERSONAL & ADV INJURY \$ 1,000,000
	Project						GENERAL AGGREGATE \$ 4,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER						PRODUCTS - COMPROP AGG \$ 4,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJ <input type="checkbox"/> LOC						Max Agg \$ 10,000,000
C	AUTOMOBILE LIABILITY	Y	Y	2E1-38-90-21	11/01/2020	11/01/2021	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (PER ACCIDENT) \$
C	<input checked="" type="checkbox"/> HIRED AUTOS			2E1-38-90-21	11/01/2020	11/01/2021	\$
C	<input checked="" type="checkbox"/> NON-OWNED AUTOS			2E1-38-90-21	11/01/2020	11/01/2021	\$
B	UMBRELLA LIAB			1000399664-001	04/01/2020	04/01/2021	EACH OCCURRENCE \$ 10,000,000
	<input checked="" type="checkbox"/> EXCESS LIAB						AGGREGATE \$ 10,000,000
	<input type="checkbox"/> CLAIMS-MADE						\$
	DEDUCTIBLE						\$
	RETENTION \$ 10,000						\$
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	Y/N	N/A	SW8WC00100201	08/31/2020	08/31/2021	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT \$ 1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$ 1,000,000
							E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Install'tn Floater			2C1-38-90-21	11/01/2020	11/01/2021	Instal'tn 300,000
C	Property Insurance			2A1-38-90-21	11/01/2020	11/01/2021	Blkt Prop 1,800,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Primary & Non-Contributory Additional Insured on General Liability & Auto; Waiver of Subrogation on GL, Auto & Work Comp in favor of the following only when required by written contract: County of Kane / Excess is Follow Form; Project #21305 @ 719 S Batavia Avenue, Bldg A, Geneva, IL 60134; Kane County Bid #09-021; Attached Endorsements: CG2010(12-19); CG2037(12-19);

CERTIFICATE HOLDER County of Kane 719 S Batavia Ave, Bldg A Geneva, IL 60134		CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.	
		AUTHORIZED REPRESENTATIVE <i>Anthony F LiFonti</i>	

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NOTEPAD

INSURED'S NAME Urban Elevator Service, LLC

URBAN-1
OP ID: PH

PAGE 2
Date 03/12/2021

Additional Insured for General Liability only unless otherwise stated and Waiver of Subrogation for General Liability only unless otherwise stated. Excess Policy is Follow Form:

It is understood and agreed that where required by written and signed contract, bid or work order, that Additional Insureds and/or Waivers of Subrogation are automatically included hereunder, but only with respect to covered negligent acts of the Named Insured in connection with Named Assured's operations and subject further to written contract only.

"NO ENTITY IS TO BE CONSIDERED AN ADDITIONAL INSURED OR WAIVER OF SUBROGATION UNLESS SO STATED ON THIS CERTIFICATE AND ON WRITTEN AND SIGNED CONTRACT."

Coverage shown on this certificate are subject to conditions of the policy in effect at time of loss.

NOTEPAD:

HOLDER CODE **KANECO2**
INSURED'S NAME **Urban Elevator Service, LLC**

URBAN-1
OP ID: PH

PAGE 3
Date **03/12/2021**

CG9053 (04-16) ; CA7266 (11-15) ; CA7392 (11-15) ; WC000343 (04-84) ;

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

**ADDITIONAL INSURED - OWNERS, LESSEES OR CONTRACTORS
- SCHEDULED PERSON OR ORGANIZATION**

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s)	Location(s) Of Covered Operations
<p>ANY PERSON OR ORGANIZATION THAT YOU ARE REQUIRED AND AGREED TO NAME AS AN ADDITIONAL INSURED ON YOUR POLICY UNDER:</p> <p>1. WRITTEN CONTRACT OR AGREEMENT THAT IS IN EFFECT DURING THE TERM OF THIS POLICY AND SUCH CONTRACT IS ENTERED INTO PRIOR TO THE "OCCURRENCE" OF ANY "BODILY INJURY", "PROPERTY DAMAGE", "PERSONAL INJURY" OR "ADVERTISING INJURY",</p> <p>OR</p> <p>2. AN ORAL CONTRACT OR ORAL AGREEMENT WITH A PERSON OR ORGANIZATION WHEN A CERTIFICATE OF INSURANCE SHOWING THAT PERSON OR ORGANIZATION AS AN ADDITIONAL INSURED HAS BEEN ISSUED; AND SUCH ORAL CONTRACT OR ORAL AGREEMENT IS IN EFFECT DURING THE TERM OF THIS POLICY AND IS ENTERED INTO PRIOR TO THE "OCCURRENCE" OF ANY "BODILY INJURY" "PROPERTY DAMAGE", "PERSONAL INJURY", OR "ADVERTISING INJURY".</p>	<p>ANY LOCATION WITHIN THE "COVERAGE TERRITORY".</p>
<p>Information required to complete this Schedule, if not shown above, will be shown in the Declarations.</p>	

A. Section II - Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

1. Your acts or omissions; or

2. The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

However:

1. The insurance afforded to such additional insured only applies to the extent permitted by law; and
2. If coverage provided to the additional insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

B. With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to "bodily injury" or "property damage" occurring after:

1. All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
2. That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

C. With respect to the insurance afforded to these additional insureds, the following is added to Section III - Limits Of Insurance:

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or
2. Available under the applicable limits of insurance;

whichever is less.

This endorsement shall not increase the applicable limits of insurance.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED - OWNERS, LESSEES OR CONTRACTORS – COMPLETED OPERATIONS

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s)	Location And Description Of Completed Operations:
<p>ANY PERSON OR ORGANIZATION THAT YOU ARE REQUIRED AND AGREED TO NAME AS AN ADDITIONAL INSURED ON YOUR POLICY UNDER:</p> <p>1. A WRITTEN CONTRACT OR AGREEMENT THAT IS IN EFFECT DURING THE TERM OF THIS POLICY AND SUCH CONTRACT IS ENTERED INTO PRIOR TO THE "OCCURRENCE" OF ANY "BODILY INJURY", "PROPERTY DAMAGE", "PERSONAL INJURY", OR "ADVERTISING INJURY";</p> <p>OR</p> <p>2. AN ORAL CONTRACT OR ORAL AGREEMENT WITH A PERSON OR ORGANIZATION WHEN A CERTIFICATE OF INSURANCE SHOWING THAT PERSON OR ORGANIZATION AS AN ADDITIONAL INSURED HAS BEEN ISSUED; AND SUCH ORAL CONTRACT OR ORAL AGREEMENT IS IN EFFECT DURING THE TERM OF THIS POLICY AND IS ENTERED INTO PRIOR TO THE "OCCURRENCE" OF ANY "BODILY INJURY", "PROPERTY DAMAGE", "PERSONAL INJURY", OR "ADVERTISING INJURY".</p>	<p>ANY LOCATION WITHIN THE "COVERAGE TERRITORY", AND FOR ALL COMPLETED OPERATIONS.</p>
<p>Information required to complete this Schedule, if not shown above, will be shown in the Declarations.</p>	

- A. Section II - Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury" or "property damage" caused, in whole or in part, by "your work" at the location designated and described in the Schedule of this endorsement performed for that additional insured and included in the "products-completed operations hazard".

However:

1. The Insurance afforded to such additional Insured only applies to the extent permitted by law; and
 2. If coverage provided to the additional insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.
- B. With respect to the insurance afforded to these additional insureds, the following is added to Section III - Limits Of Insurance:

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or
2. Available under the applicable limits of insurance;

whichever is less.

This endorsement shall not increase the applicable limits of insurance.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ELEVATOR CONTRACTOR PLUS ENDORSEMENT

Primary and Non-Contributory Additional Insured Extension

This endorsement modifies insurance provided under the following:

COMMON POLICY CONDITIONS
COMMERCIAL GENERAL LIABILITY COVERAGE PART

Section Extracted from Endorsement CG 90 53 (Ed. 04/16)

K. Primary and Non-Contributory Additional Insured Extension

This provision applies to any person or organization who qualifies as an Additional Insured under any form or endorsement under this Policy.

Condition 4. Other Insurance of SECTION IV - COMMERCIAL GENERAL LIABILITY CONDITIONS is amended as follows:

a. The following is added to Paragraph a. Primary Insurance:

This insurance is primary to and will not seek contribution from any other insurance available to an Additional Insured under your policy provided that:

(1) the Additional Insured is a Named Insured under such other insurance; and

(2) you have agreed in writing in a contract or agreement that this insurance would be primary and would not seek contribution from any other insurance available to the Additional Insured.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ELEVATOR CONTRACTOR PLUS ENDORSEMENT

Blanket Waiver of Subrogation

This endorsement modifies insurance provided under the following:

COMMON POLICY CONDITIONS
COMMERCIAL GENERAL LIABILITY COVERAGE PART

Section Extracted from Endorsement CG 90 53 (Ed. 04/16)

T. In SECTION IV - COMMERCIAL GENERAL LIABILITY CONDITIONS, the following is added at the end of Condition 8. **Transfer of Rights of Recovery Against Others to Us:**

We waive any right of recovery we may have against a person or organization because of payments we make for injury or damage arising out of:

- a. your ongoing operations; or
- b. "your work" pursuant to a written contract between you and that person or organization and included in the "products-completed operations hazard";

but only if:

- c. you and that person or organization have agreed, in a written contract or agreement, that you waive such rights against that person or organization; and
- d. the injury or damage occurs only after you and that person or organization have signed the written contract or agreement described in c.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

DESIGNATED INSURED – PRIMARY AND NONCONTRIBUTORY

This endorsement modifies insurance provided under the following:

- AUTO DEALERS COVERAGE FORM
- BUSINESS AUTO COVERAGE FORM
- MOTOR CARRIER COVERAGE FORM

With respect to coverage provided by this endorsement, the provisions of the coverage form apply unless modified by this endorsement.

This endorsement identifies person(s) or organization(s) who are "insureds" under the **Who Is An Insured** provision of the coverage form. This endorsement does not alter coverage provided in the coverage form.

SCHEDULE

Name of Person(s) or Organization(s)

ANY PERSON OR ORGANIZATION FOR WHICH YOU ARE REQUIRED BY A WRITTEN CONTRACT TO PROVIDE THIS ENDORSEMENT. THE CONTRACT MUST BE EXECUTED PRIOR TO ANY LOSS SUBMITTED TO THE COMPANY.

Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

Each person or organization indicated above is an "insured" for Liability Coverage, but only to the extent that person or organization qualifies as an "insured" under the **Who Is An Insured** provision under the Covered Autos Liability Coverage form and;

The insurance provided to the person(s) or organization(s) shown in the Schedule is Primary Insurance and we will not seek contribution from any other insurance available to that "insured".

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

**BLANKET WAIVER OF SUBROGATION WHEN REQUIRED
IN A WRITTEN CONTRACT OR AGREEMENT**

This endorsement modifies insurance provided under the following:

AUTO DEALERS COVERAGE FORM
BUSINESS AUTO COVERAGE FORM
MOTOR CARRIER COVERAGE FORM

The **TRANSFER OF RIGHTS OF RECOVERY AGAINST OTHERS TO US** Condition Section is added to and replaced by the following:

We waive any right of recovery we may have against any person or organization against whom you have agreed to waive such right of recovery in a written agreement or written contract because of payments we make for injury or damage arising out of your ongoing operations or "work you performed" under a written contract or written agreement with that person or organization and included in the "Auto Dealers Operations".

- A. The following definitions are added to the **Definition** Section of this endorsement only:
1. "Auto Dealers Operations" means the ownership, maintenance or use of locations for an "auto" dealership and that portion of the roads or other accesses that adjoin these locations. "Auto dealers operations" includes all operations necessary or incidental to an "auto" dealership.
 2. "Work you performed" includes:
 - a. Work that someone performed on your behalf; and
 - b. The providing of or failure to provide warnings or instructions.

WAIVER OF OUR RIGHT TO RECOVER FROM OTHERS ENDORSEMENT

We have the right to recover our payments from anyone liable for an injury covered by this policy. We will not enforce our right against the person or organization named in the Schedule. (This agreement applies only to the extent that you perform work under a written contract that requires you to obtain this agreement from us.)

This agreement shall not operate directly or indirectly to benefit anyone not named in the Schedule.

Schedule

**ANY PERSON OR ORGANIZATION FOR WHOM THE NAMED INSURED
AGREED BY WRITTEN CONTRACT TO FURNISH THIS WAIVER**

This endorsement changes the policy to which it is attached and is effective on the date issued unless otherwise stated.
(The information below is required only when this endorsement is issued subsequent to preparation of the policy.)

Endorsement Effective **08-31-20** Policy No. **SW8WC00100201** Endorsement No.
Insured **URBAN ELEVATOR SERVICE LLC, URBAN ELEVATOR SERVICE** Premium \$ **INCL.**
Insurance Company **EVEREST PREMIER INSURANCE COMPANY**

Countersigned By _____



FACILITY USAGE: 2021 GENEVA CHAMBERS FESTIVALS

Summary:

Date(s): Time:	Thru summer months(see attached)
Requestor:	Geneva Chamber Of Commerce
Location:	3rd street court house Parking Lot, Front Lawn, etc
Proposed Use:	Festival, Marathon, Car/Art Show, etc...
Application Attached:	<u>Y</u>
Certificate of Liability	<u>Y</u>
Insurance Attached:	

Contact: Paula Schmidt
Geneva Chamber of Commerce
8 S. Third St.
Geneva, IL 60134
pschmidt@genevachamber.com
630-232-6060
Cell: 630-301-0245

As we all are aware, the planning and implantation of these events will be determined by the Phase we are in and the tier within that Phase. I wanted to get a preliminary approval for the "areas" we would use but the dates may change due to COVID-19 protocols. I will not be asking for specific dates at this time but a range of dates.

Swedish Days 2021 – Dates for activities will be updated upon approvals and permits

June 24-27 (shortened event for 2021)

Information Booth: Corner of James and Third St. Kids Games: Lawn area (June 25)

Kid's Day: Lawn area (June 25)

Sponsor Displays: Parking Lane on James St., south side. *We are adding a few sponsor tents on the south side of the courthouse lawn from 3rd St. to the Judges' lot.*

Carnival: Courthouse parking lot – dates would include one to two days of set-up before the event.

Carnival runs from June 24-27 (tentatively – set up not included in these dates).

Income from this event supports the costs of Swedish Days

Use of Judges Lot: June 26-27

Requesting a portion of the parking lot at the Government Center Campus for employee/visitor parking
Use of the trails along the Fox River for the 5K Lopp run. (Additional paperwork will be given – Special Event Request Form will be sent to the Forest Preserve).

Northwestern Medicine has asked us to have our 5K Lopp on the new NW Cross Country Field. We will work on that as we get closer but will request the Forest Preserve area just to be safe. (June 26)

Use of the Courthouse lawn for Music on the Green – small duets, singles play from 12-3p on June 26-27.

Classic Car Shows

Every Thursday in July and August (may just be August)

5:30 pm to 8:00 pm

Courthouse parking lot used.

Exhibiting cars are instructed to not enter the parking lot before 5:00 pm. Vendors will be setting up before the 6:00 exhibit time.

Classic cars drive into the lot to exhibit and exchange ideas. The area is monitored by a committee. Trash containers are provided by the City of Geneva. Participants and visitors come from the entire County. Porta-potties will be placed on James St. for participants use before event begins. Food vendors will serve food on the parking lot property as well.

Geneva Art Fair

July 24-25

Named one of the country's best juried art shows (#7 in 2019). It is held on Third St., south to South St. Courthouse lot is used by visitors and artists parking.

Festival of the Vine

September 10-12

Floral displays, information booth and crafters on the lawn area.

We will need some of the parking spots for the crafters. The upper parking lots off Campbell, will be used for the Arts and Crafts fair. All cars will need to out all the parking lots by 5 am on the morning of the 10th for setup of the Craft Show on the County parking lot property. Use of Judges Lot on Saturday and Sunday for displays.

Sponsor displays: Parking lane on James St., south side (Friday-Sunday) Tents will begin setup on Thursday morning. We are adding a few sponsor tents on the south side of the courthouse lawn from 3rd St. to the Judges' lot Friday-Sunday.

Christmas Walk

December 3

Great tree on the lawn is decorated. Additional decorations throughout the front area of the Courthouse (HOPE sign, Santa Post Office, decorated trees, etc.)

Restroom facilities are located throughout town during all festivals.

Food is sold during events and the Kane County Health Department permits are obtained.

City of Geneva provides the services of public works, police and fire support.

A Certificate of Insurance naming the County additional insured is provided prior to each event.

The County of Kane is recognized in all event programs.

COUNTY OF KANE

**BUILDING MANAGEMENT
FACILITY OPERATIONS**



County Government Center
719 Batavia Avenue
Geneva, IL 60134
www.co.kane.il.us

The following policy has been approved and adopted by the Administration Committee for usage of the lawn and parking lots of the Government Center, 3rd Street Courthouse, Circuit Clerk parking lot, and Judicial Center for gatherings. Any person or entity requesting to use these properties for gatherings shall be given a copy of this policy and shall agree in writing to abide to all requirements as a condition of approval. Each event must be temporary in nature and cannot disrupt the business held within the building. Nothing may be hung or displayed from a building. For any request to utilize the 3rd Street Courthouse, the applicant agrees no activity will occur within, or will disturb, the CASA Garden of Hope.

- 1) All requests shall be submitted to the Manager of Building Mgmt. in writing and include the following information:
 - Proposed date(s) of requested gathering
 - Purpose of usage of lawn/parking area
 - Anticipated number of attendees at gathering
 - Anticipated number of vehicles (for parking estimates)
 - Contact person (name, phone, address and email), including cell phone number which will be used during the event and will function as an emergency contact.
 - Will food or beverages be sold?
 - Are portable restroom facilities required?
- 2) If the request is approved, the applicant agrees to the following conditions:
 - Access to the County buildings may be restricted, consistent with the policies of the facility. This specifically includes use of the rest room facilities.
 - The County maintains the right to cancel the approval granted, and to require the immediate dispersal of those gathered during the approved gathering as deemed necessary.
 - For the applicant's protection it is recommended that liability insurance be obtained.
 - The County may designate areas to be used for parking, and designate areas which are not to be used for parking. It is the responsibility of the applicant to ensure these restrictions are met.
 - Any approved gathering is not transferable and is only authorized for the purpose identified in the application on the date(s) approved.
 - The applicant agrees to conform with all City, County, and State ordinances and laws.
 - All waste generated must be removed from the property
 - A security deposit may be required
- 3) All requests shall be approved by the Administration Committee. If the request is received and the event is to be held prior to the next scheduled Administration Committee meeting, the Committee Chairman and Director of Building Management may jointly approve or deny the request for gathering.
- 4) User shall indemnify and hold harmless the county of Kane from and against any claim of any kind arising out of or due to the acts of the user, its agents, employees or officers in connection with the use or occupancy of the premises herein. Such indemnity shall extend to all costs, awards, attorney fees and other related expenses incurred by the county arising out of such claims

Attached is my request for the use of a Kane County property.

I have read this application and hereby agree to meet all the requirements set forth.

Paula Schmidt
Signature


Paula Schmidt
Name (Printed)

Email

pschmidt@genevachamber.com

Address

8 S. Third St Geneva IL 60134

 Please Recycle

630 301-0245

Cell Phone Number (Emergency Contact for event)

GENEVA

CHAMBER OF COMMERCE

In consideration of the County of Kane permitting, the Geneva Chamber of Commerce (the Organization) to conduct events during Swedish Days, on county property, the Organization recognizes, acknowledges, and assumes any and all risks arising from or in any way related to the event.

To the fullest extent permitted by law, the Organization agrees to defend, pay on behalf of, indemnify and hold harmless the County of Kane, its elected and appointed officials, employees, and volunteers, and others working on behalf of the county; against any and all claims, demands, suits, loss, injuries, deaths, judgments, costs, and expenses (including all attorney fees and costs), arising from, or resulting from or in any way related directly and/or indirectly to the event, except that arising out of the sole legal cause of the County of Kane, its officers, officials, employees, and agents.

The Organization shall, at its own expense, appear, defend, and pay all charges of attorneys and all costs and other expenses arising therefrom or incurred in connection therewith, and if any judgment shall be rendered against the County of Kane, its officers, officials, employees and/or agents, in any such action, the Organization at its own expense shall satisfy and discharge same.

The invalidity of any provisions(s) of this INDEMNIFICATION/HOLD HARMLESS or unenforceability of any of its provisions shall not affect the validity or enforceability of the remainder of this INDEMNIFICATION/HOLD HARMLESS provisions contained herein.

The organization and the authorized signatory below agree to inform the County of Kane of any changes in the application at least thirty (30) days prior to the event.

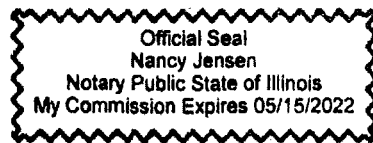
Geneva Chamber of Commerce
(Name of Organization)

4/1/2021
(Date)

Paulo Schmidt
Authorized Signatory

Signed and sworn to before me this 1st day of April, 2021.

Nancy Jensen
Notary Public



Client#: 27748

GENCH1

ACORD

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/01/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER: Konen Insurance Agency, Inc. 2570 Beverly Drive Suite 100 Aurora, IL 60502
CONTACT NAME: Melanie Garza
PHONE (A/C, No, Ext): 630 897-4239
E-MAIL ADDRESS: melanie@konen.com
INSURER(S) AFFORDING COVERAGE: INSURER A: West Bend Mutual Insurance Co. NAIC #: 15350

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSR, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include General Liability, Automobile Liability, Umbrella Liability, and Workers Compensation.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER: County of Kane, Attn: Richard Griffiths, Sr., 719 Batavia Avenue, Geneva, IL 60134
CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: [Signature]



FACILITY USAGE: 2021 CASA HATCH

Summary: Child Abuse Prevention Month

Date(s): Time:	Month of April
Requestor:	Stephanie Marlatt
Location:	3rd Street Courthouse Parking Lot, Front Lawn, Other, etc...
Proposed Use:	Festival, Marathon, Car/Art Show, etc...
Application Attached:	<u>Y</u>
Certificate of Liability	N
Insurance Attached:	

From: [Griffith Sr, Richard](#)
To: [Matuszak, Michele](#)
Subject: FW: CASA Use Applications
Date: Tuesday, March 23, 2021 2:07:43 PM
Attachments: [2127_001.pdf](#)
[2128_001.pdf](#)

From: Stephanie Marlatt <StephanieM@casakanecounty.org>
Sent: Tuesday, March 23, 2021 2:00 PM
To: Hull, Clint <TCHull@16thCircuit.IllinoisCourts.gov>; Griffith Sr, Richard <GriffithSrRichard@co.kane.il.us>; O'Brien, Andrea <O'BrienAndrea@16thCircuit.IllinoisCourts.gov>; Naughton, Doug <NaughtonDoug@16thCircuit.IllinoisCourts.gov>
Cc: Gloria Kelley <gloriak@casakanecounty.org>; Jennifer Paganessi-Fisher <jennifer@jpagfish.com>
Subject: EX: CASA Use Applications

Hello Andrea,

Please find attached the applications for 1.) Use of the courthouse lawn for child abuse prevention month, 2.) Use of the courthouse lawn for our annual HATCH (Hands Around the Court House) on 4/29.

Please let me know if you need any additional information or have any questions.

Thank you.

Stephanie Marlatt

Director of Communications & Events

CASA Kane County
Change a Child's Story™
100 S. Third Street
Geneva, IL 60134 – 630-444-3108
www.casakanecounty.org



CASA Kane County is a Guardian ad Litem, nonprofit volunteer organization that advocates for the best interests of children in abuse, neglect and private guardianship cases within the Juvenile Court system.

Information contained in this transmission to the named addressee is proprietary and confidential. If the recipient of this

March 23, 2021

Via Email Only

chiefjudge.offic@co.ka.no.il.us

tchull@16thcircuit.illinoiscourts.gov

The Hon. Clint Hull

Chief Judge, Sixteenth Judicial Circuit

37W777 Route 38, Room 301, Box 400A

St. Charles, Illinois 60175

Dear Judge Hull:

I have set forth below supplemental information to our application for use.

Proposed Date: Month of April

Purpose of Usage: In order to raise awareness of child abuse, CASA would like to display flags and pinwheels on the front lawn during the entire month of April, which is national Child Abuse Prevention Month.

Anticipated Number of Attendees: N/A

Anticipated Number of Vehicles: N/A

Contact Person: Stephanie Marlatt, CASA Kane County Director of Communications and Events, 100 S. Third Street, Geneva, Illinois 60134. Direct Dial: 630-444-3108; Cell Phone: 630-624-5966.

Sale of Food/Beverages: No sale of food or beverage will occur.

Portable Restroom Requirements: N/A

Very truly yours,

Stephanie N. Marlatt

**APPLICATION FOR USE OF JUDICIAL FACILITIES IN
THE SIXTEENTH JUDICIAL CIRCUIT**

The Office of the Chief Judge must approve all requests for the use of judicial facilities located in the Sixteenth Judicial Circuit. It must be understood that there may be a fee charged for the use of the judicial facilities.

Use of judicial facilities may not disrupt the operation of the building or interfere with the conduct of judicial business. Use of judicial facilities must be compatible with the stated policy set forth by the Sixteenth Judicial Circuit related to use of judicial facilities and consistent with the primary function of the courts.

All participants are subject to security screening and should have picture ID. All personnel are subject to background checks.

Applications for facility use should be submitted at least four weeks before the planned date of the activity.

Sponsoring Organization: CASA Kane County

Contact information: Stephanie Marlatt
(Name)

stephanism@casakanecounty.org
(Email address)

630.444.3108
(Telephone)

Title, Purpose and Type of Program: Child Abuse Prevention Month
purpose: create awareness

Date and Time Requested: month of April

Hours of Use: all

Number of Participants: n/a

Facility Requested: display child abuse/CASA flags
and pinwheels in front lawn

Created: 2/17/2016
Page 1 of 2
OCJ/sml

Food and/or Drink:

Provide detail of any refreshments which you intend to serve during the activity including the name of the caterer.

none

Are you charging a fee for attendance? n/a

Will a member of the court or clerk's office staff be present during the program? n/a

Applications should be sent to:

**Office of the Chief Judge
Sixteenth Judicial Circuit
37W777 Route 38, Room 301, Box 400A
St. Charles, IL 60175**

or emailed to: chiefjudgeoffice@co.kane.il.us

Approved by/date:

Not Approved by/date:

Office of the Chief Judge

COUNTY OF KANE

BUILDING MANAGEMENT FACILITY OPERATIONS



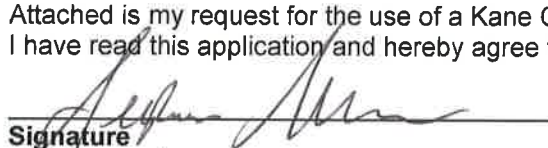
County Government Center
719 Batavia Avenue
Geneva, IL 60134
www.co.kane.il.us

The following policy has been approved and adopted by the Administration Committee for usage of the lawn and parking lots of the Government Center, 3rd Street Courthouse, Circuit Clerk parking lot, and Judicial Center for gatherings. Any person or entity requesting to use these properties for gatherings shall be given a copy of this policy and shall agree in writing to abide to all requirements as a condition of approval. Each event must be temporary in nature and cannot disrupt the business held within the building. Nothing may be hung or displayed from a building. For any request to utilize the 3rd Street Courthouse, the applicant agrees no activity will occur within, or will disturb, the CASA Garden of Hope.

- 1) All requests shall be submitted to the Manager of Building Mgmt. in writing and include the following information:
 - Proposed date(s) of requested gathering
 - Purpose of usage of lawn/parking area
 - Anticipated number of attendees at gathering
 - Anticipated number of vehicles (for parking estimates)
 - Contact person (name, phone, address and email), including cell phone number which will be used during the event and will function as an emergency contact.
 - Will food or beverages be sold?
 - Are portable restroom facilities required?
- 2) If the request is approved, the applicant agrees to the following conditions:
 - Access to the County buildings may be restricted, consistent with the policies of the facility. This specifically includes use of the rest room facilities.
 - The County maintains the right to cancel the approval granted, and to require the immediate dispersal of those gathered during the approved gathering as deemed necessary.
 - For the applicant's protection it is recommended that liability insurance be obtained.
 - The County may designate areas to be used for parking, and designate areas which are not to be used for parking. It is the responsibility of the applicant to ensure these restrictions are met.
 - Any approved gathering is not transferable and is only authorized for the purpose identified in the application on the date(s) approved.
 - The applicant agrees to conform with all City, County, and State ordinances and laws.
 - All waste generated must be removed from the property
 - A security deposit may be required
- 3) All requests shall be approved by the Administration Committee. If the request is received and the event is to be held prior to the next scheduled Administration Committee meeting, the Committee Chairman and Director of Building Management may jointly approve or deny the request for gathering.
- 4) User shall indemnify and hold harmless the county of Kane from and against any claim of any kind arising out of or due to the acts of the user, its agents, employees or officers in connection with the use or occupancy of the premises herein. Such indemnity shall extend to all costs, awards, attorney fees and other related expenses incurred by the county arising out of such claims

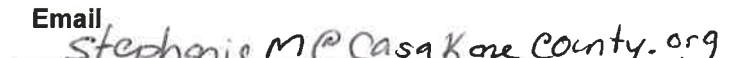
Attached is my request for the use of a Kane County property.
I have read this application and hereby agree to meet all the requirements set forth.

Signature


Stephanie Marlatt

Name (Printed)

Email


Address



Please Recycle

C:\Users\Stephanie\AppData\Local\Microsoft\Windows\NetCache\Content\Outlook\YU1JE00R\Lawn usage policy revised 3.docx

6306245966

Cell Phone Number (Emergency Contact for event)



RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

Resolution No.

Authorizing an Agreement with T-Mobile USA, Inc., for the "Connecting Heroes" Program

Committee Flow: Administration Committee, Finance and Budget Committee, Executive Committee, County Board

Contact: Charles Lasky, 630.444.3080

Budget Information:

Was this item budgeted? Yes	Appropriation Amount: \$30,000
If not budgeted, explain funding source: N/A	

Summary:

Authorizing an agreement with T-Mobile USA, Inc. for the "Connecting Heroes" cellular program which will allow Sheriff's Office and Court Security personnel to continue participating in the program should reasonable rates be agreed upon in writing.

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

AUTHORIZING AN AGREEMENT WITH T-MOBILE USA, INC., FOR THE “CONNECTING HEROES” PROGRAM

WHEREAS, the County’s Court Security personnel have been provided wireless devices and lines of service through T-Mobile’s “Connecting Heroes” program via the Information Technologies Department; and

WHEREAS, to memorialize the program, T-Mobile USA, Inc. has entered into a cooperative Master Agreement (“MA176”) with the State of Utah, through the National Association of State Procurement Officials ValuePoint procurement program (“NASPO ValuePoint”); and

WHEREAS, units of local government with their own procurement authority in the State of Illinois are eligible to join the cooperative master agreement, MA176, via participating addendums, provided the execution of the agreement falls within the procurement authority of the local government; and

WHEREAS, Kane County Purchasing Ordinance Section 4.11 provides requirements for authorization of cooperative agreements, requires that they be approved in writing by the Board, and requires a written opinion from the State’s Attorney’s Office that the cooperative agreement is so authorized by law; and

WHEREAS, the Kane County State’s Attorney’s Office has reviewed all applicable documentation related to the “Connecting Heroes” program, MA176, and associated documents and has issued a written opinion that the entry of the participating addendum and related documents (attached as “Exhibit A”) by the County is authorized by law; and

WHEREAS, currently T-Mobile is providing the devices and lines of service for the “Connecting Heroes” program at no cost, however, the participating addendum contemplates potential future costs for participation in the program, as agreed in writing by the County and T-Mobile, USA, Inc.; and

WHEREAS, the Information Technologies Department staff recommends authorization be given by the Board to allow the Director of Purchasing and/or the Director of Information Technologies to enter into the participating addendum and related documents and that they be so authorized to execute any amendments to the agreement to facilitate continued participation in the program, if costs are established; and

WHEREAS, the Information Technologies Department staff recommends that authorization be given by the Board to allow the Sheriff’s Office and Court Security personnel to be permitted to continue participating in the program via the Information Technologies Department, should reasonable rates be agreed upon in writing, for an amount not to exceed Thirty-Thousand Dollars (\$30,000.00); and

WHEREAS, funds to support the continued participation in the program, should costs be established, are available from the following account:

Line Item	Line Item Description	Was Personnel/Item/Service approved in original budget or a subsequent budget revision?	Are funds currently available for this Personnel/Item/Service in the specific line item?	If funds are not currently available in the specified line item, where are the funds available?
001.800.801.64010	Cellular Phone	Yes	Yest	

NOW, THEREFORE, BE IT RESOLVED, by the Kane County Board that the Director of Purchasing and/or the Director of Information Technologies are authorized to enter into the participating addendum and related documents to facilitate the participation of the Kane County Sheriff and Court Security personnel in the T-Mobile “Connecting Heroes” program, at no cost, and that should costs be established in the future, the Director of Purchasing and/or Director of Information Technologies are authorized to execute any amendments to the agreement to facilitate continued participation in the program, from the above-identified account, should reasonable rates be agreed upon in writing, for an amount not to exceed Thirty-Thousand Dollars (\$30,000.00).

Passed by the Kane County Board on May 11, 2021.

John A. Cunningham
 Clerk, County Board
 Kane County, Illinois

Corinne M. Pierog MA, MBA
 Chairman, County Board
 Kane County, Illinois

Vote:

21-05 Cellular Public Safety

WIRELESS, DATA, VOICE AND ACCESSORIES
Led by the state of Utah

Master Agreement #: MA176

Contractor: T-MOBILE USA, INC.

Participating Entity: KANE COUNTY

1. Scope: This Participating Addendum ("PA") covers the NASPO ValuePoint Wireless, Data, Voice and Accessories Master Agreement No. MA176 led by the State of Utah, as amended ("Master Agreement") for use by state agencies and other entities, as provided in the Master Agreement, and as more specifically detailed in Paragraph 2, "Participation," below. There were four categories included in the solicitation:

- Category 1: Cellular Wireless Services
- Category 2: Equipment and Accessories
- Category 3: Turnkey Wireless and IoT Solutions offered as a Product
- Category 4: Alternative Wireless Transport Options

Contractor was awarded Categories 1, 2, 3A, and 3C.

Participating Entity has elected to participate in **Categories 1, 2, 3A and 3C** (unless indicated otherwise)

Unless otherwise agreed to by the parties herein, this PA shall be coterminous with the Master Agreement including any renewals or extensions to the Master Agreement.

2. Participation: This PA may be used by all state agencies, institutions of higher education, political subdivisions and other entities who are authorized by the State Chief Procurement Official or otherwise eligible to place orders against this PA (collectively "Purchasing Entities"). It will be the responsibility of the Purchasing Entity to comply with any legal or regulatory provisions applicable to the Purchasing Entity. A Purchasing Entity may issue individual releases (Purchase Orders) against this PA on an as-needed basis.

3. Participating Entity Modifications or Additions are attached herein as Exhibit 1.

4. Order of Precedence: Except as specifically provided otherwise herein, this PA consists of and precedence is established by the order of the following documents:

- This PA; and
- The Master Agreement (including the Master Agreement Order of Precedence established in the NASPO ValuePoint Master Terms and Conditions).

5. *[intentionally omitted]*

WIRELESS, DATA, VOICE AND ACCESSORIES
Led by the state of Utah

6. Purchase Order Instructions: Any Purchase Order, Order or T-Mobile approved funding document used to order Products and Services shall be in accordance with and subject to the NASPO Master Agreement #MA176. As a pre-condition to ordering T-Mobile Services and Products under the NASPO Master Agreement, T-Mobile will require Participating Entity to provide a Purchase Order, Order or signed funding document.

7. Individual Customer:

Each state agency, political subdivision or other entity placing an order under this Participating Addendum (“Purchasing Entity”), will be treated as if it was an Individual Customer. Except to the extent modified in this Participating Addendum, each agency, political subdivision or other entity will be responsible for compliance with the terms and conditions of the Master Agreement; and they will have the same rights and responsibilities for their purchases as the Lead State has in the Master Agreement. Each agency, political subdivision or other entity will be responsible for its own charges, fees and liabilities. Each Purchasing Entity will have the same rights to any indemnity or to recover any costs allowed in the contract for its purchases; and Contractor will apply the charges to each Participating Entity individually. The Individual Customer agrees to the terms of the Participating Addendum, including the disclosure of limited account information as part of the contractual reporting requirements to NASPO ValuePoint and/or the Participating Entity for purposes of monitoring the contract and calculating the administrative fee.

8. Primary Contacts: The primary contact individuals for this Participating Addendum are as follows (or their named successors):

Contractor:

Name:	David Bezzant, Vice President, T-Mobile For Government
Address:	c/o T-Mobile USA, Inc., 12920 SE 38 th Street, Bellevue, WA 98006
Telephone:	(425) 383-4000
Email:	David.Bezzant@T-Mobile.com

For Legal Notice to Contractor – send a copy to:

Name:	Legal Department, T-Mobile USA, Inc.
Address:	c/o T-Mobile USA, Inc., 12920 SE 38 th Street, Bellevue, WA 98006

WIRELESS, DATA, VOICE AND ACCESSORIES
Led by the state of Utah

Participating Entity:

Name:	Kane County / Brooke Hampel, Information Technology
Address:	719 S. Batavia Ave, Geneva, IL 60134
Telephone:	(630) 232-3570
Email:	hampelbrooke@co.kane.il.us

9. Software Terms and Conditions: Purchasing Entities that acquire software shall be subject to the license agreements distributed with such software; however, in the event of a conflict in language between an end user license agreement (EULA) and the Master Agreement, the language in the Master Agreement will supersede and control. In addition, any language in a EULA which violates a Purchasing Entity's constitution, statute or other applicable law will be deemed void, and of no force or effect, as applied to the Purchasing Entity.

10. Pursuant to Amendment No. 2 of Master Agreement No. MA176, upon execution of this PA, the parties agree that the terms of any existing Participating Addendum(s) under either: 1) the NASPO ValuePoint Master Agreement #1907 between the State of Nevada and Contractor ("T-Mobile NASPO 1907 Agreement"); or 2) the NASPO ValuePoint Master Agreement #1907 between the State of Nevada and Sprint Solutions, Inc., ("Sprint NASPO 1907 Agreement") will be governed under the terms of this PA and Master Agreement No. MA176. Contractor and the Participating Entity agree that this PA will supersede and replace any existing Participating Addendum(s) under either T-Mobile NASPO 1907 Agreement or Sprint NASPO 1907 Agreement ("Existing 1907 Participating Addendums") as of the PA Effective Date, subject to the terms herein. The Existing 1907 Participating Addendums will be terminated in their entirety as of the PA Effective Date.

11. Technology Evolution:

11.1 In the normal course of technology evolution and enhancement, T-Mobile continually updates and upgrades its Services, Products and networks. In some instances, these efforts will result in the need to ultimately replace or discontinue certain offerings or technologies. In such event, T-Mobile will undertake such efforts in a customer-focused and commercially reasonable manner. Accordingly and notwithstanding anything in the PA to the contrary, T-Mobile reserves the right, in its sole discretion, after providing the notice set forth in subsection 11.2 below, to: (a) migrate Participating Entity to a replacement technology; or (b) discontinue any Service, Product, network standard, or technology without either party being in breach of the PA or incurring early termination liability relating to the discontinuance of the affected Service, Product, network standard, or technology.

WIRELESS, DATA, VOICE AND ACCESSORIES
 Led by the state of Utah

11.2 If T-Mobile takes any action set forth in subsection 11.1 above, T-Mobile will provide no less than 60 days' advance notice reasonably designed to inform Participating Entity (if affected) of such pending action. The form of T-Mobile's notice may include providing written notice to any address (a) listed in the PA for Participating Entity, (b) T-Mobile uses for billing, or (c) set forth in an Order. Customer agrees that such notice is reasonable and sufficient notice of T-Mobile's pending action.

The parties have executed this Participating Addendum as of the date of final execution below ("PA Effective Date").

Participating Entity: Kane County	Contractor: T-Mobile USA, Inc.
Signature:	Signature:
Printed Name:	Printed Name:
Title:	Title:
Date:	Date:
	Legal Approved by: <hr/> T-Mobile USA, Inc. Legal Department

For questions on the Participating Addendum or NASPO ValuePoint cooperative contracting process, please contact the NASPO ValuePoint Cooperative Contract Coordinator assigned to this Portfolio, as provided on this Portfolio's webpage at www.naspovaluepoint.org or the NASPO ValuePoint team at ccc@naspovaluepoint.org.

Contractor - email a fully executed PDF copy of this document to:

PA@naspovaluepoint.org
**To support documentation of participation and posting
 in appropriate databases**

WIRELESS, DATA, VOICE AND ACCESSORIES
Led by the state of Utah

Exhibit 1 - Participating Entity Modifications or Additions

1. Governing Law: This Participating Addendum, incorporating the Master Agreement, and all amendments to the Master Agreement, shall be governed by the laws of the State of Illinois.
2. Venue: Venue for any disputes under this Participating Addendum, incorporating the Master Agreement, and all amendments to the Master Agreement, shall lie in the courts of the 16th Judicial Circuit, Kane County, Illinois or in the United States' District Court for the Northern District of Illinois.

T-Mobile Connecting Heroes Addendum

This T-Mobile Connecting Heroes Addendum (“**Addendum**”), which will be effective as of September 11, 2020 (“**Addendum Effective Date**”), is made by and between T-Mobile USA, Inc., a Delaware corporation (“**T-Mobile**” or “**Contractor**”), and Kane County Sheriff, an Illinois sheriff’s department, with its principal place of business at 719 S. Batavia Avenue, Geneva, IL 60134 (“**Customer**”). This Addendum memorializes the terms and conditions agreed to by the parties on or before the Addendum Effective Date.

1. Underlying Agreement. Customer agrees to purchase wireless mobile Services and Devices from T-Mobile and T-Mobile agrees to provide the Services and Devices to Customer based on the prices listed below. The terms of Customer’s purchase and use of the Services will be governed by the by the NASPO ValuePoint Wireless Data, Voice and Accessories Master Agreement No. MA176 and applicable Participating Addendum (“**Master Agreement**”).

(a) The terms and conditions of this Addendum or the Master Agreement will not be modified or superseded by any terms and conditions in a Customer generated Purchase Order. Purchase Orders will have no force or effect other than to denote quantity, the products or services purchased, delivery destinations, requested delivery dates and any other information required by this Addendum.

2.Term; Termination: Unless terminated under the terms of this Section 2, this Addendum will continue, provided the Master Agreement is in effect. This Addendum may be terminated: (i) for cause pursuant to the terms of the Master Agreement; or (ii) upon mutual written agreement by the parties; or (iii) by Customer upon 30 days prior written notice to T-Mobile; or (iv) after April 1, 2030, this Addendum may also be terminated by T-Mobile upon 30 days prior written notice to Customer.

3 Offer/Pricing.

a. **Connecting Heroes Initiative Program - Mobile Data Plans include:**

Rate Plan	Monthly Recurring Charge/Line	Features
**Connecting Heroes \$0	\$0	-Unlimited talk and text -Unlimited High Speed Data - High Speed Smartphone Mobile Hotspot up to 1GB (then 3G speeds) - Video streaming – SD 480p - Talk, Text and up to 5 GB of 4G LTE Data in Mexico and Canada; 2G data thereafter
**Connecting Heroes AMP \$15	\$15*	-Unlimited talk and text -Unlimited talk, text and High Speed LTE Data - High Speed Smartphone Mobile Hotspot up to 20GB (then 3G speeds)

		<ul style="list-style-type: none"> - T-Mobile's Simple Global feature which includes free text and 2G data in 210+ countries and destinations (subject to change in T-Mobile's sole discretion); - GoGo free WiFi on enabled flights - Talk, Text and up to 5 GB of 4G LTE Data in Mexico and Canada; 2G data thereafter- Video streaming – HD 1080p
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*Not eligible for any aggregate volume discount; \$15 price does not include applicable taxes, fees and surcharges.

For state & local fire, police, and EMS agencies who verify eligibility. Video typically streams on smartphone/tablet at DVD quality (480p). **Coverage not available in some areas and may be impacted by emergencies; check your response area. Monthly Regulatory Programs (RPF) & Telco Recovery Fee (TRF) totaling \$3.18 per voice line (\$0.60 for RPF & \$2.58 for TRF) applies to \$15 plan; taxes/fees approx. 0–19% of bill. Unlimited talk & text features for direct communications between 2 people; others (e.g., conference & chat lines, etc.) may cost extra. Unlimited high-speed data US only. In Canada/Mexico, up to 5GB high-speed data then unlimited at up to 128kbps. Additional international features available for purchase. Not available for hotspots and some other data-first devices. On \$0 plan, **video streams** at up to 1.5Mbps unless you add Plus. Optimization may affect speed of video downloads; does not apply to video uploads. For best performance, leave any video streaming applications at their default automatic resolution setting. **Tethering:** 1GB high-speed data (20GB with Plus) then unlimited on our network at max 3G speeds. For the small fraction of customers using >50GB/mo., primary data usage must be on smartphone or tablet. **Network Management:** Program/Service may be **slowed, suspended, terminated, or restricted** for interference with our network or ability to provide quality service to other users or abusive/excessive use. On-device usage is prioritized over tethering usage, which may result in higher speeds for data used on device. See T-Mobile.com/OpenInternet for details. See **Terms and Conditions** at www.T-Mobile.com for additional information.

4 Total Line Eligibility and Line Limits. To be eligible, Customer must be a police, emergency medical technician (EMT), fire, or non-profit responder agency. Customer is eligible for a combined total of 90 lines of Service using either, or a combination of both, the \$0 and \$15 rate plans (“Line Limit”). Line Limits are based on number of personnel performing first responder functions as described in this Section 4 (“Qualifying Headcount”). By way of example only, Qualifying Headcount will include, but will not be limited to, firefighters, EMTs, police officers, and dispatchers, but will not include, by way of example only, maintenance staff and office staff. In its sole discretion, T-Mobile will review the Customer’s Line Limit based on Customer’s Qualifying Headcount. T-Mobile may request documentation from Customer relating to its Qualifying Headcount. T-Mobile may also re-verify Customer’s Qualifying Headcount on a regular basis during the Term of the Addendum. Changes in Customer’s Qualifying Headcount may affect Customer’s total Line Limit.

5 Subsidized Rate Plans. If Customer has existing lines of Service with T-Mobile that have subsidized devices with term commitments (“Subsidized Lines”), and Customer wishes to move these Subsidized Lines to these Connecting Heroes rate plans, Customer agrees to comply with the requirements of those subsidized rate plans, including, but not limited to reimbursement to T-Mobile for device subsidies, if applicable.

6 Primary Contacts: The primary con tact individuals for this Addendum are as follows (or their named successors):

T-Mobile/Contractor

Name:	David Bezzant, Vice President, T-Mobile For Government
Address:	c/o T-Mobile USA, Inc., 12920 SE 38 th Street, Bellevue, WA 98006
Telephone:	(480) 638-2608
Email:	David.Bezzant@T-Mobile.com

For Legal Notice – send a copy to:

Name:	Legal Department – Sales & Distribution, T-Mobile USA, Inc.
Address:	12920 SE 38 th Street, Bellevue, WA 98006

Customer:

Name:	Kane County Sheriff/ Brooke Hampel
Address:	719 S. Batavia Avenue, Geneva, IL 60134
Telephone:	(630) 232-3570
Email:	hampelbrooke@co.kane.il.us

This Addendum is executed by each Party’s authorized representative as of the date of the Addendum Effective Date.

Customer: Kane County Sheriff	Contractor: T-Mobile USA, Inc.
Signature:	Signature:
Printed Name:	Printed Name:
Title:	Title:
Date:	Date:
	Legal Approved By: _____ T-Mobile USA, Inc. Legal Department



RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

Resolution No.

Authorizing License Agreement with the City of West Chicago

Committee Flow: Administration Committee, Finance and Budget Committee, Executive Committee, County Board

Contact: Roger Fahnestock, 630.232.3571

Budget Information:

Was this item budgeted?	Appropriation Amount:
If not budgeted, explain funding source:	

Summary:

Kane County desires to install fiber within the DuPage County Technology Park to facilitate a connection between County owned fiber on both Fabyan Parkway and Illinois Route 38 to SBA EDGE, and the location of the Fiber install will be within the jurisdictional limits of the City of West Chicago

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

AUTHORIZING LICENSE AGREEMENT WITH THE CITY OF WEST CHICAGO

WHEREAS, Kane County maintains fiber optic network cable for the purposes of communications and data services; and

WHEREAS, Kane County desires to install fiber within the DuPage County Technology Park to facilitate a connection between County owned fiber on both Fabyan Parkway and Illinois Route 38 to SBA EDGE, and the location of the Fiber install will be within the jurisdictional limits of the City of West Chicago. ; and

WHEREAS, The City of West Chicago, and Kane County have negotiated a License Agreement to authorize the Kane County’s installation of conduit, vaults, and fiber optic cable in consideration of an amount of \$903.30 / per year for a period of 10 years, as set forth in the attached Exhibit A.

NOW, THEREFORE, BE IT RESOLVED that the Kane County Board Chairman and Information Technologies Department are authorized to enter into an easement agreement with and authorize payment to The City of West Chicago for an amount not to exceed thirty-thousand dollars (\$9,033.00) for the total cost of the License Agreement. from Fund 125.800.810.70060 Communications Equipment.

Line Item	Line Item Description	Was Personnel/Item/Service approved in original budget or a subsequent budget revision?	Are funds currently available for this Personnel/Item/Service in the specific line item?	If funds are not currently available in the specified line item, where are the funds available?
125.800.810.70060	Communications Equipment	Yes	Yes	N/A

Passed by the Kane County Board on May 11, 2021.

John A. Cunningham
Clerk, County Board
Kane County, Illinois

Corinne M. Pierog MA, MBA
Chairman, County Board
Kane County, Illinois

Vote:

21-05 IGA West Chicago

CITY OF WEST CHICAGO/COUNTY OF KANE
LICENSE AGREEMENT

This License Agreement (the “License Agreement”) is entered into this _____ day of April, 2021, by and between the City of West Chicago, an Illinois municipal corporation, 475 Main Street, West Chicago, Illinois 60185 (“Licensor”) and the County of Kane, 719 Batavia Avenue, Building B, Geneva, Illinois 60134 (“Licensee”) (collectively, the “Parties”).

RECITALS

A. Licensor owns property commonly known as the “DuPage Business Center Right-of-Way generally from a point on the north right-of-way of Fabyan Parkway and then northward along Technology Boulevard and Discovery Drive for approximately 9,033 feet to a point on the south right-of-way of Illinois Route 38 (Roosevelt Road)”, which is located across, through or under the real estate legally described in Exhibit "A," attached hereto and incorporated herein by reference (the “Subject Property”).

B. Licensee desires to use the Subject Property for the installation, construction, location, operation, and maintenance of telecommunication facilities under the City’s right of way (the “Licensed Premises”) so that Licensee can provide telecommunication services, subject to the terms and conditions of this License Agreement.

NOW, THEREFORE, for and in consideration of the covenants and agreements set forth herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby mutually acknowledged, the Parties agree as follows:

1. The foregoing Recitals are incorporated as if fully set forth herein.
2. Subject to the terms and conditions of this License Agreement,

Licensor hereby grants Licensee, a non-exclusive license for use of the Subject Property and Licensed Premises for the purpose of installing, constructing, locating, operating, and maintaining telecommunications facilities under the City right of way, as more fully depicted in Exhibit "B" (hereinafter, the "Facilities"), attached hereto and incorporated herein by reference. Licensor also grants Licensee a non-exclusive license for ingress and egress to and from the Subject Property and Licensed Premises, for the purpose of maintaining the Facilities. Licensee shall be solely responsible for securing the necessary permits from any federal, state or local agencies and shall be solely responsible for the costs of same. The Licensee will apply for any necessary permits for construction in the right-of-way of the Licensor and the Licensor shall cooperate in securing any necessary permits. Licensee shall secure the necessary permit to perform the work contemplated hereunder from the City. Licensee agrees to provide the City Administrator of the City of West Chicago ("City Administrator") seventy-two (72) hours notice prior to commencing any work under this License Agreement. In the event that emergency repairs are necessary for Licensee facilities in the Licensor right-of-way, Licensee shall immediately notify the Licensor, in writing, of the need for such repairs. Licensee may immediately initiate such emergency repairs, and shall apply for appropriate permits the next business day following discovery of the emergency. Licensee must comply with all Ordinance provisions relating to such excavations or construction, including the payment of permits or license fees.

3. Term. The term of this License Agreement (the "Term") shall be ten (10) years, commencing April 1, 2021 and terminating March 31, 2031.

4. Reimbursement of Permit Review and Inspection Fees. Licensee agrees to reimburse the Licensor for direct costs involved in any permit review and any applicable inspections of work performed within the right-of-way, plus 25% in accordance with the West Chicago City Code.

5. Annual Fee. Licensee agrees to pay the Licensor an annual license fee of \$0.10 per lineal foot for placement of telecommunications and utility facilities within the Licensor's Public Ways.

6. Taxes. Licensee acknowledges that the Subject Property and Licensed Premises is exempt from real estate taxes, and that to the extent the County Assessor or State Department of Revenue, or any other authority with the power to do so, would attempt to assess any license or property tax as a result of the use authorized by this License Agreement, Licensee will assist Licensor in defending against any such action and will pay any such tax as is finally determined.

7. No Lease. The parties agree that this License Agreement confers upon the Licensee only a license and right to use the Subject Property and Licensed Premises upon the terms set forth herein, and that nothing contained herein is intended to confer upon the Licensee a leasehold interest in the Subject Property and Licensed

Premises or any portion thereof. In the event of default by the Licensee, the Licensor shall not be obligated to bring a forcible entry and detainer action to terminate Licensee's rights hereunder, provided termination of Licensee's rights hereunder is available to Licensor as a remedy.

8. Default. In the event of the failure of any party to perform any or all of its duties and obligations under the terms and conditions of this License Agreement, including payment of the license fees and the costs hereunder, the other party shall notify the defaulting party of such default in writing, and the defaulting party shall have thirty (30) days from receipt of such notice to cure the default. In the event said default is not cured within said cure period, or in the event of repeated defaults, the non-defaulting party shall be entitled to all remedies available at law and/or equity to enforce its rights under this License Agreement, and shall be entitled to recover its costs in bringing such suit, including its reasonable attorney's fees.

9. General Insurance Provisions.

- A. Evidence of Insurance - Licensee shall procure, maintain and keep in effect throughout the Term a policy or policies of commercial general liability insurance with limits of not less than \$3,000,000 for each occurrence, and such other insurance coverage in the types and amounts set forth on the Certificate of Insurance attached hereto as Exhibit C and incorporated herein (the "Insurance Coverage"). The limit can be satisfied by a combination of primary and umbrella/excess liability insurance. Prior to the commencement of the Term, Licensee agrees to cause said Certificate of Insurance to be amended to reflect that it is the insured, and that the Licensor and the Licensor's officers, members and employees are each primary, non-contributory additional insureds on said policy, but for the acts and omissions of Licensee and for whom Licensee is responsible.
- B. Prior to April 1, 2021, the Licensee shall furnish the Licensor with the above described Certificate of Insurance, and applicable policy endorsements, executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements set forth above.
- C. Failure of the Licensor to demand such certificate, endorsement or other evidence of full compliance with these insurance requirements or failure of the Licensor to identify a deficiency from evidence that is provided shall not be construed as a waiver of any insurance obligations herein.

- D. The Licensor shall have the right, but not the obligation, of prohibiting the Licensee from using or occupying the Subject Property and Licensed Premises until such Certificates of Insurance are received by the Licensor.
- E. All Certificates of Insurance required herein shall also state that no cancellation of the insurance shall become effective until the expiration of thirty (30) days written notice thereof shall have been given by the insurance company to the Licensor via first class mail.
- F. With respect to liabilities of Licensee arising from this Agreement, all coverages required herein shall be primary insurance as respect the Licensor. Any insurance or self-insurance maintained by the Licensor, its officials, officers, employees, volunteers and agents shall be in excess of insurance maintained by the Licensee, and shall not contribute with said coverages/insurance.
- G. The Licensee agrees that all policies and/or coverages required by its contractors shall contain a “contractual liability” clause.
- H. Acceptability of Insurers - The Licensee shall require its contractors to be insured by insurance companies which obtain a rating from A.M. Best, that rating should be no less than A-VII using the most recent edition of the A.M. Best’s Key Rating Guide. All insurance required herein shall be placed with insurers licensed to do business in the State of Illinois and licensed by the Illinois Department of Insurance.
- I. Cross-Liability Coverage - Certificates of Insurance not written on the standard ACORD form shall be endorsed to provide cross-liability coverage.

10. Renewal of License and abandonment of Facilities. The plan and manner of execution or operation shall meet the approval of and be done to the satisfaction of the City Administrator or his authorized representative. Any and all of the aforesaid facilities shall be maintained by the Licensee at his sole expense. The Licensee may renew this license by property application prior to its expiration. If the Licensee elects not to renew the license or it is denied, then the City Administrator shall serve a ninety (90) day written notice to the last known address of the Licensee to remove or relocate the facilities. If the Licensee wishes to abandon use of its cable, ducts, or other Facilities to provide Telecommunications Services or Interstate Telecommunications Services under or pursuant to the License, or upon cancellation,

revocation or termination of the privilege herein granted, Licensee shall notify Licensor and may, subject to Licensor's approval, which shall not be unreasonably withheld, permanently abandon the improvements in place.

11. Protection of Vegetation. It is further agreed that no trees, or shrubs, shall be cut, trimmed or removed nor shall any building or utilities of the Licensor be disturbed without the written permission of the City Administrator or his authorized representative, whose permission shall not be unreasonably withheld, conditioned or delayed.

12. Construction/Restoration of Property. The Licensee agrees that the installation of the conduit will be performed without any trenching or open trenching. Said construction, installation and maintenance shall utilize directional bore installation under any City streets, parkways and right-of-way areas where necessary. All movement and storage of equipment and materials shall be confined to the area designated by the City Administrator or his authorized representative. All surplus excavated material shall be disposed of off the Licensor's property. All trees, stumps, and other debris resulting from construction operations shall be disposed of off the Licensor's property. Within thirty (30) days after construction operations have been completed, all areas disturbed by construction operations shall be graded and restored to their original contours and conditions. The backfill settlement repair period shall be for one (1) year from date of placing of said backfill, during which time the affected areas shall be maintained by the Contractor in a condition satisfactory to the Licensor.

13. Liability of the Licensor. It is further understood and agreed that the Licensor shall not be liable for any damages or injury to any person or property arising from, growing out of, or incident to the construction, operation, or maintenance of the aforesaid facilities for which the license is issued, except if such damages or injury are the result of Licensor's own intentional misconduct or negligence.

14. Indemnification. To the fullest extent permitted by law, both parties shall indemnify and hold harmless the other party and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses, including but not limited to legal fees (reasonable attorney and paralegal fees and court costs), arising from or in any way connected with (i) any act, omission, wrongful act or negligence of either party or any of its officers, agents, employees, volunteers, contractors, subcontractors, vendors, or of anyone acting on behalf of the other party ; and, (ii) any accident, injury, death, or damage whatsoever occurring, growing out of incident to, or resulting directly or indirectly from either party's use of the Subject Property and Licensed Premises. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this paragraph. Either party's indemnity obligations hereunder shall not apply to any injuries, claims, demands, judgments, damages, losses, or expenses arising out of or resulting from the negligence, misconduct or breach of this section by the other party , its officials,

officers, employees, agents, or representatives. In no event shall either party be entitled to damages for lost profits, lost opportunity or lost income arising from either party's performance under this License.

This License Agreement is entered into for the sole benefit of the parties hereto, and nothing in this License Agreement shall be construed as either expressly or indirectly extending, establishing, or acknowledging any rights or obligations in favor of third persons who are not signatures or beneficiaries to this License Agreement.

15. Supervision. The Licensee assumes and exercises full responsibility for the supervision of its employees, contractors, sub-contractors, suppliers, vendors, and agents during the term of this License Agreement. This paragraph is inserted solely for the benefit of the contracting parties, and is not intended to establish, impose or acknowledge any duty to supervise as to third parties.

16. Notice. All notices required shall be in writing and shall be given in the following manner:

- A. By personal delivery of such notice; or
- B. By mailing of such notice to the addresses recited herein by certified mail, postage pre-paid, return receipt requested. Except as otherwise provided herein, notice served by certified mail, shall be effective on the date of mailing; or
- C. By sending facsimile transmission. Notice shall be effective as of date and time of facsimile transmission, provided that the notice transmitted shall be sent on business days during business hours (9:00 A.M. to 4:30 P.M. Chicago time). In the event fax notice is transmitted during non-business hours, the effective date and time of notice is the first hour of the first business day after transmission; or
- D. By depositing such notice with a nationally recognized overnight courier. Notice shall be effective upon being deposited with the overnight courier.

Any party shall have the right to designate any other address for notice purposes by written notice to the other party or his attorney in the manner aforesaid.

The addresses of the parties are as follows:

If to Licensee:

Kane County Information Technologies Depart.
Attn: Charles Lasky, Deputy CIO
719 Batavia Avenue, Building B
Geneva, Illinois 60134
FAX: (630) 232-9188

If to Licensor:

Michael Guttman,
City Administrator
City of West Chicago
475 Main Street
West Chicago, IL 60185
FAX: (630) 231-0523

With a required copy to:

With a required copy to:

Patrick K. Bond, Esq.
Bond Dickson, P.C.
301 S. County Farm Road, Ste E
Wheaton, IL 60187
FAX: (630) 681-1020

With Invoices to:

Kane County Information Technologies Department
Attn: Roger Fahnestock
719 Batavia Avenue, Building B
Geneva, Illinois 60134
FAX: (630) 232-9188
Email: KaneITDInvoices@co.kane.il.us

17. Prohibited Uses and Activities. The Licensee agrees to keep the Subject Property and Licensed Premises in a clean, safe, and sanitary condition. The Licensee further agrees that it shall abide by any and all applicable laws, ordinances, statutes and regulations of the County, the State of Illinois and the United States of America and enforcement and regulatory agencies thereof, which regulate or control the Licensee's use of the Site.

18. Subject Property and Licensed Premises Disclaimer. The Licensee expressly acknowledges that the Licensor has made no representations or warranties, express or implied, as to the adequacy, fitness or condition of the Subject Property and Licensed Premises for the purposes set forth herein, or for any other purpose or use, express or implied, by the Licensee. ALL IMPLIED WARRANTIES OF QUALITY, FITNESS, MERCHANTABILITY AND HABITABILITY ARE HEREBY EXCLUDED. The Licensee accepts use of the Subject Property and Licensed

Premises and any improvements thereon in “AS-IS” condition and “WITH ALL FAULTS”. The Licensee acknowledges that it has inspected the Subject Property and Licensed Premises and has satisfied itself as to the adequacy, fitness and condition thereof.

19. Right to Relocate. If during the term of the License Agreement, the Licensor is required to perform any work on the roadway involved hereunder, including but not limited to, improvements or reconstruction, or for any other reason, and in the reasonable judgment of Licensor such work necessitates relocation of the Licensee’s cable or equipment, the Licensee shall be solely responsible for relocating the conduit, other cables or equipment thereon and shall be solely responsible for any and all costs associated therewith, except as provided by law where a third party may be responsible for the cost of such relocation, including, but not limited to situations of eminent domain, airport improvement, urban renewal, and/or public transportation projects. In the event Licensee is required to relocate its infrastructure Facilities due to the construction of a public improvement, Licensor shall provide Licensee with notice at least one hundred twenty (120) days prior to any required action of Licensee to relocate its infrastructure Facilities and shall cooperate with the Licensee to identify a replacement and alternative Public Right-of-way for the relocation of its infrastructure Facilities. Said relocation shall be fully completed within one hundred eighty (180) days from the date of receipt of the Notice accompanied by a preliminary engineering design plan. In the event said relocation is required outside the Licensor’s right-of-way or delayed due to the fault of a third party, Licensee shall make a written request for an extension for the completion of said relocation. Provided Licensee uses all commercially reasonable measures to relocate the telecommunications services, the Licensor’s approval shall not be unreasonably withheld.

20. Right to Enter. The Licensor reserves the right to enter upon and repair any or all damage to areas surrounding the licensed premises, and if such damage is caused by Licensee, then the actual, reasonable and documented cost of such repair will be the responsibility of Licensee.

21. Miscellaneous.

A. The parties agree that no change or modification to this License Agreement, or any exhibits or attachments hereto, shall be of any force or effect unless such amendment is dated, reduced to writing, executed by both parties, and attached to and made a part of this License Agreement.

B. The parties agree that the titles of the items of this License Agreement, hereinabove set forth, are for convenience of identification only and shall not be considered for any other purpose.

C. The parties agree that if any provision of this License Agreement is held invalid for any reason whatsoever, the remaining provisions shall not be affected

thereby if such remainder would then continue to conform to the purposes, terms and requirements of applicable law.

D. This License Agreement shall be construed, governed, and enforced according to the laws of the State of Illinois and any action to enforce this License Agreement may be brought in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.

LICENSEE, County of Kane:

By: _____
Corrine M. Pierog
Chairman, Kane County Board

Attest:

By: _____
John A. Cunningham
Kane County Clerk

LICENSOR, City of West Chicago:

By: _____
Ruben Pineda, Mayor
City of West Chicago

Attest

By: _____
Nancy R. Smith, City Clerk
City of West Chicago

**Exhibit "A" to
CITY OF WEST CHICAGO/COUNTY OF KANE LICENSE AGREEMENT**

Installation of approximately 9,033 feet of PVC conduit and 288 count Fiber to support the Kane County Illinois Information Technologies off-site servers at SBA New Continuum Data Center located at 603 Discovery Drive West Chicago, IL 60185. Kane County currently has fiber installed to poles located along in the Right of way of IL 38 / Roosevelt road and to a vault on Fabyan Parkway. Fiber installation described in this scope would complete the connections from each of terminus to the SBA New Continuum Data Center. See attached diagram

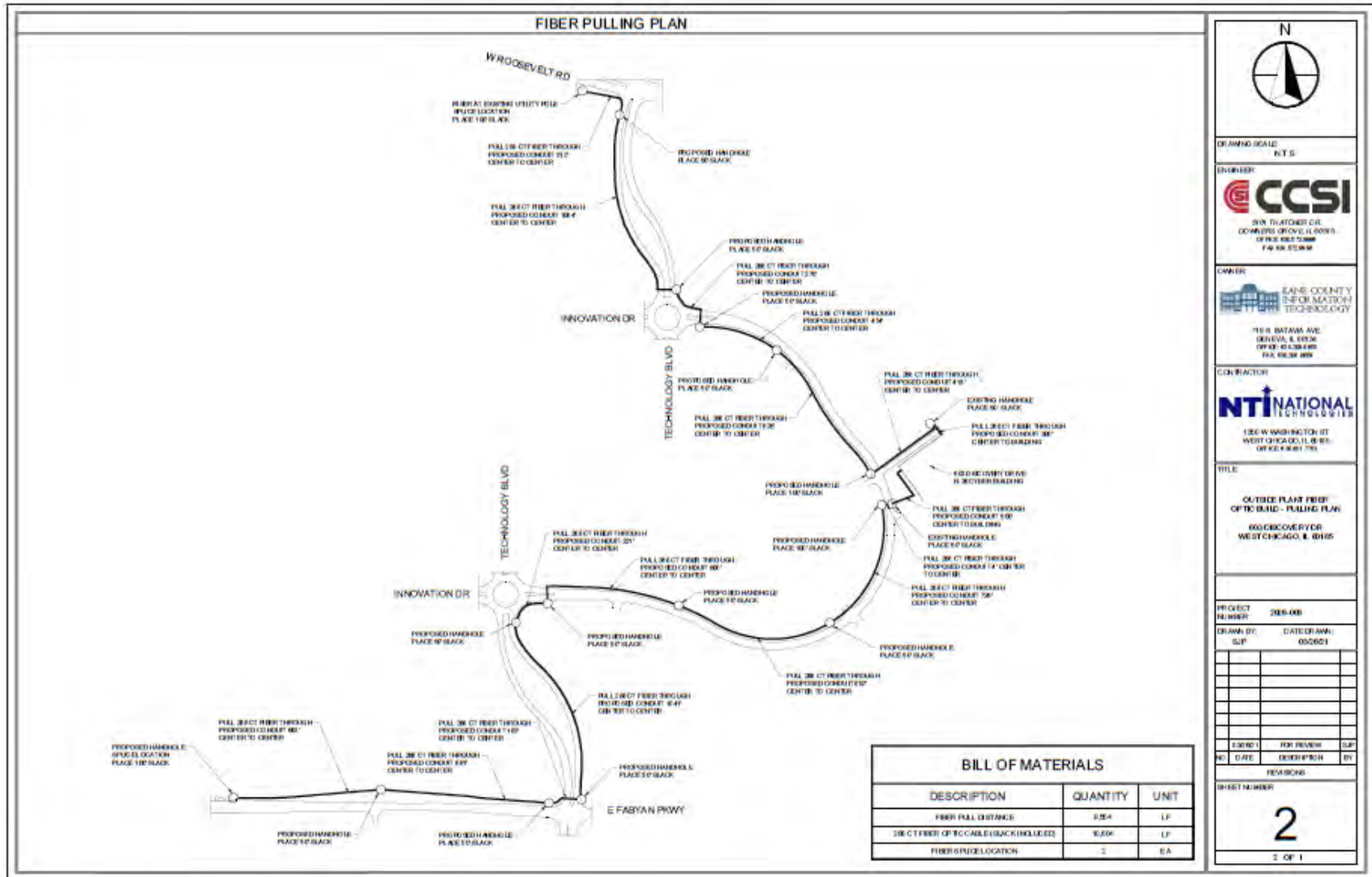
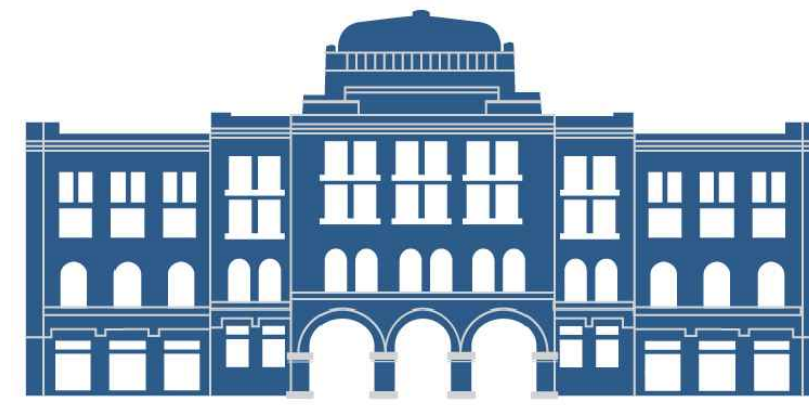


Exhibit "B" to
CITY OF WEST CHICAGO/COUNTY OF KANE LLC LICENSE
AGREEMENT

Engineering plan set entitled Outside Plant Fiber Optic Build Project Number 2026-003 and as attached. See attached



KANE COUNTY
INFORMATION
TECHNOLOGY

OUTSIDE PLANT FIBER OPTIC BUILD

DUPAGE TECH PARK
603 DISCOVERY DR
WEST CHICAGO, IL 60185

DUPAGE COUNTY, ILLINOIS
SECTION 7 TOWNSHIP 39N RANGE 9E

CONTACT INFORMATION:

ENGINEER:



OWNER:

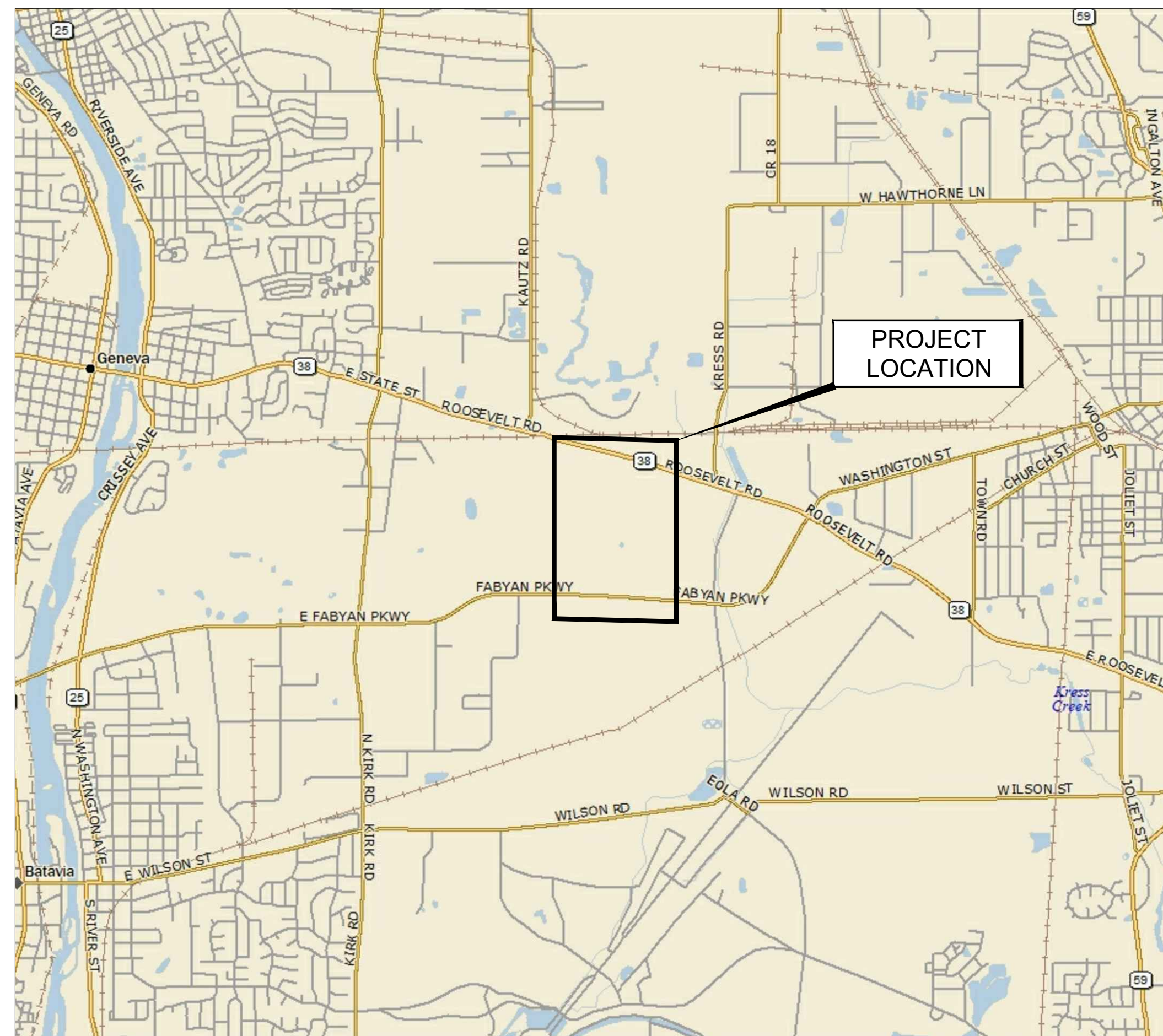


CONTRACTOR:



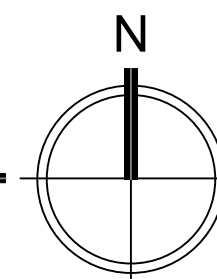
Know what's below.
Call before you dig.

REQUIRES 2 BUSINESS DAYS
NOTICE BEFORE YOU EXCAVATE



LOCATION MAP

SCALE: NOT TO SCALE



PROJECT NUMBERS:

PROJECT NO: 2026-003

PROJECT DESCRIPTION:

INSTALLATION OF (3)-1.25" HDPE SDR-11 CONDUITS @ 36" & 42" & 48" DEPTH BY DIRECTIONAL BORE TO THE ABOVE MENTIONED ADDRESS.

DRAWING INDEX

SHEET	TITLE
1	COVER
2	LEGEND
3	NOTES AND ABBREVIATIONS
4	TYPICALS
5	BILL OF MATERIALS
6	OVERVIEW
7-23	OSP PLAN(S)
24-25	CROSS SECTIONS
26-27	TRAFFIC CONTROL PLAN

JURISDICTION SHEET

IDOT	7
WEST CHICAGO	7-27
DUPAGE COUNTY	20-25
KANE COUNTY	23
BATAVIA	23



ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL LOCAL CODES AND ORDINANCES. ANY REPRODUCTIONS, CHANGES OR ASSIGNMENTS WITHOUT MY WRITTEN CONSENT ARE PROHIBITED.

Anthony G. Antonio
ANTHONY G. ANTONIO
PROFESSIONAL ENGINEER
P.E. 062.059559 EXP. 11-30-2021

DRAWING SCALE:
N.T.S.

ENGINEER:



OWNER:



CONTRACTOR:



TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

NO.	DATE	DESCRIPTION	BY
REVISIONS			
5	12/28/20	DUPAGE CNTY/CITY REV	SJP
4	11/19/20	DUPAGE COUNTY REV.	JCS
3	11/16/20	CITY REV.	JCS
2	10/12/20	KANE COUNTY REV.	JCS
1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

SHEET NUMBER

1

1 OF 27

LEGEND

UTILITIES:

UTILITY MARKER	
STORM INLET	
CULVERT	
CATV MANHOLE	
STORM MANHOLE	
SANITARY MANHOLE	
CATCH BASIN	
GAS MANHOLE	
GAS VALVE	
WATER MANHOLE	
WATER VALVE	
FIRE HYDRANT	
ELECTRIC MANHOLE	
ELECTRIC EQUIPMENT BOX	
TRAFFIC CONTROL BOX/MANHOLE	
COMED MANHOLE	
COMED EQUIPMENT BOX	
STREET LIGHT	
TRAFFIC SIGNAL	
POWER POLE	
UTILITY POLE	
FOC MANHOLE	
UNIDENTIFIED MANHOLE	
RAILROAD SIGNAL	
CATV PED	
POWER PED	
FOC PED	
UNIDENTIFIED PED	
ELECTRICAL CABLE	
COMED	
GAS LINE	
GAS LINE 4"	
WATER LINE	
WATER 8"	
STORM SEWER	
STORM SEWER 8"	
SAN SEWER	
SAN SEWER 8"	

COMMUNICATIONS:

ATT MANHOLE/HANDHOLE		ATT
COMCAST MANHOLE/HANDHOLE		CMCT
COMMUNICATION MH/HH		COM
FOC HANDHOLE		X
KDL MANHOLE/HANDHOLE		KDL
LEVEL 3 MANHOLE/HANDHOLE		L3
LIGHTTOWER MANHOLE/HANDHOLE		LTR
MCI MANHOLE/HANDHOLE		MCI
NEXTEL MANHOLE/HANDHOLE		NXT
NEXTLINK MANHOLE/HANDHOLE		NXL
RCN MANHOLE/HANDHOLE		RCN
SBC MANHOLE/HANDHOLE		SBC
SIDERA MANHOLE/HANDHOLE		SID
SPRINT MANHOLE/HANDHOLE		SPT
SUNESYS MANHOLE/HANDHOLE		SUN
VINAKOM MANHOLE/HANDHOLE		VKM
VERIZON MANHOLE/HANDHOLE		VZB
ZAYO MANHOLE/HANDHOLE		ZAYO
ABOVENET		ABV
ADELPHIA		ADL
ATT		ATT
CENTURYLINK		CTLK
COMCAST		CMCT
CROWN CASTLE		CC
FIBER OPTIC CABLE		FO
IBT		IBT
KDL		KDL
LEVEL 3		LVL3
LIGHTTOWER		LTR
LGN		LGN
LOOKING GLASS		LGN
MCI		MCI
MFN		MFN
MFS		MFS
NEXTEL		NXT
NEXTLINK		NXL
QWEST		QST
RCN		RCN
SBC		SBC
SIDERA		SID
SPRINT		SPT
SUNESYS		SUN
TELEPHONE		TEL
UNICOM		UTT
VERIZON		VZB
VINAKOM		VKM
WINDSTREAM		WNST
WOW		WOW
XO		XO
ZAYO		ZAYO

PROPOSED:

BORE PIT	
MANHOLE	
QUAZITE BOX	
DIRECTIONAL BORE	
TRENCH	

GENERAL:

HANDICAP RAMP	
PARKING BOX	
SIGN	
TREE	
BACK OF CURB	
EDGE OF PAVEMENT	
FENCE	
RAILROAD TRACKS	
RIGHT OF WAY	
WEST SHORE	
BUCKEYE	

DRAWING SCALE:
N.T.S.

ENGINEER:



OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

NO.	DATE	DESCRIPTION	BY
5	12/28/20	DUPAGE CNTY/CITY REV	SJP
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2	10/12/20	KANE COUNTY REV.	JCS
1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

2

2 OF 27

NOTES & ABBREVIATIONS:

ABBREVIATIONS:

ASPH	ASPHALT
BLDG	BUILDING
BLVD	BOULEVARD
CB	CATCH BASIN
CBL	CURB LINE
CIP	CAST IRON PIPE
CL	CENTERLINE
CNTY	COUNTY
CONC	CONCRETE
CWALK	CONCRETE SIDEWALK
CULV	CULVERT
DCT	CONDUIT DUCTS
DPWC	DUPAGE WATER COMMISSION
DRIV	DRIVEWAY
EA	EACH
EL	ELEVATION
EOC	END OF CABLE
EOP	EDGE OF PAVEMENT
EOS	EDGE OF SIDEWALK
EX	EXISTING
FH	FIRE HYDRANT
GALV	GALVANIZED
GIMT	GALVANIZED INTERMEDIATE TUBE
GIP	GALVANIZED IRON PIPE
GRS	GALVANIZED RIGID STEEL
GRVL	GRAVEL
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
HORIZ	HORIZONTAL
ILAW	ILLINOIS AMERICAN WATER
LT	LEFT
MH	MANHOLE
MWRD	METROPOLITAN WATER RECLAMATION DISTRICT
PED	PEDESTAL
PL	PROPERTY LINE
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RD	ROAD
ROW, R/W	RIGHT-OF-WAY
RTE	ROUTE
RR	RAILROAD
SAN	SANITARY
SE	SOUTHEAST
SEC	SECTION
SH	SHEET
SIG	SIGNAL
STL	STEEL
TW	TEST WINDOW
WM	WATERMAIN

GENERAL NOTES:

1. ALL WORK TO BE DONE WITH EXTREME CAUTION. FIBER OPTIC CABLE CARRYING TRAFFIC AND LOSS OF SERVICE WILL RESULT IN LOSS OF REVENUE.
2. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, OR THE RIGHT-OF-WAY GRANTOR.
3. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED RAILROAD VALUATION MAPS OR OTHER DRAWINGS, AND MAY BE AS SHOWN OR DEPICTED ON THESE DRAWINGS.
4. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND FIELD OBSERVATIONS, BUT NOT NECESSARILY EXACT. THEREFORE, UTILITY LOCATIONS WILL BE VERIFIED AT LEAST 100 FEET IN ADVANCE OF TRENCHING OR PLOWING, SO THAT CHANGES IN CABLE PLACEMENT CAN BE MADE IN EVENT OF CONFLICT.
5. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON THE CONSTRUCTION DRAWINGS. ANY AND ALL OTHERS ENCOUNTERED ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, OR REPAIR, IF DAMAGED.
6. ANY AND ALL IMPROVEMENTS, SUCH AS , ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

CONSTRUCTION NOTES:

1. THE ENCLOSED DESIGN IMPLIES EXISTING UTILITIES. THE UTILITIES HAVE NOT BEEN FIELD VERIFIED FOR LOCATION. THEREFORE, ALL UTILITIES IMPLIED WITHIN THIS DOCUMENT ARE TO BE REFERRED TO AS A "REFERENCE TOOL". IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR IT'S SUBCONTRACTORS TO VERIFY THESE UTILITIES USING ANY AND ALL METHODS AND INSTRUMENTS AVAILABLE IF/WHEN NECESSARY. CCSI DESIGN GROUP, INC. (CCSI) CANNOT GUARANTEE UTILITY LOCATIONS. ALL DOCUMENTATION ON EXISTING UTILITIES HAS BEEN IMPLIED UTILIZING "INFORMATION RETRIEVAL PROCESSES" FROM EACH JURISDICTION INVOLVED (I.E., STATE, COUNTY AND/OR MUNICIPALITY, TO INCLUDE OTHERS). UTILITIES AND THE SAFETY OF SAME, ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR PERFORMING THE WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE ALL CONDUITS ARE INSTALLED AS PRESCRIBED IN THESE DRAWINGS. CCSI DESIGN GROUP, INC. (CCSI) WAS NOT RETAINED OR PROVIDED A SURVEY OF THE THE PROPERTY BOUNDARIES AND THEREFORE CAN NOT GUARANTEE THE ACCURACY OF BOUNDARY SHOWN (I.E. PUBLIC WAY, PRIVATE PROPERTY, EASEMENTS ETC.) NOR IS IT TO BE ASSUMED EASEMENTS, SALE OF PROPERTIES HAS NOT OCCURRED DURING & AFTER CCSI'S RESPONSIBILITIES FOR THIS PROJECT HAVE PAST. THENCE ALL BOUNDARIES, EASEMENTS, PROPERTY LINES ETC. ARE TO BE USED AS A GUIDELINE OR REFERENCE AND SHOULD NOT BE TAKEN LITERALLY. IT IS THE CONTRACTORS RESPONSIBILITY TO STAKE ALL ASSOCIATED BOUNDARIES IF SO QUESTIONED. ALL ASPECTS OF BOUNDARIES IMPLIED HEREIN, HAVE BEEN DERIVED THROUGH AVAILABLE MEDIA SUCH AS BUT NOT LIMITED TO (SIDWELL, GOOGLE EARTH PRO, MUNICIPAL, STATE, COUNTY AND OTHER RECORD TYPES). CCSI DOES NOT AGREE NOR DISAGREE WITH THE ABOVE-MENTIONED RECORDS, IT IS SIMPLY A REFERENCE TOOL.
3. ALL CONDUIT WILL BE 1.25" ID HDPE SDR-11. MANUFACTURED SPLIT PVC OR SPLIT BSP/GSP, UNLESS SPECIFIED OTHERWISE.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY.
5. SHORING MAY BE REQUIRED AND SHALL COMPLY TO O.S.H.A. STANDARDS.
6. ALL BURIED CONDUIT/CABLE WILL BE PLACED AT 36" MINIMUM COVER UNLESS SPECIFIED OR OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS.
7. MECHANICAL PROTECTION SHALL BE REQUIRED WHENEVER A 36" MINIMUM COVER IS NOT OBTAINABLE UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION DRAWINGS.
8. ALL 90 DEGREE BEND IN CONDUIT CONSTRUCTION WILL BE A MINIMUM 36.0" RADIUS UNLESS OTHERWISE SPECIFIED. ALL SPLIT CONDUIT BENDS AND SOLID PVC BENDS SHALL REQUIRE CONCRETE ENCASEMENTS, UNLESS SPECIFIED OTHERWISE.

WEST CHICAGO CONSTRUCTION NOTES:

1. TRAFFIC CONTROL - ALL WORK CONDUCTED WITHIN THE CITY'S RIGHT-OF-WAY SHALL BE GOVERNED BY ALL APPLICABLE ARTICLES OF THE "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, ADOPTED APRIL 1, 2016", AND THE CURRENT EDITION OF THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS".
2. AT ANY LOCATION WHERE THE "PROPOSED UTILITY" CROSSES A CITY OWNED AND MAINTAINED UTILITY, THE PIPELINE SHALL BE INSTALLED A MINIMUM OF THIRTY-SIX (36) INCHES ABOVE THE CITY OR UTILITY OR A MINIMUM EIGHTEEN (18) INCHES BELOW SAID CITY UTILITY.
3. THE "PROPOSED UTILITY" SHALL BE INSTALLED A MINIMUM FIVE (5) FEET FROM ANY CITY OWNED AND MAINTAINED UTILITY.
4. ALL DISTURBED AREAS ARE TO BE RESTORED WITHIN 30 DAYS FROM START OF WORK.
5. DISTURBED NON-PAVED SURFACES SHALL BE RESTORED WITH A MINIMUM SIX (6) INCHES TOPSOIL, AND SOD OR SEED. GRASS BLEND SHALL BE SALT AND DROUGHT TOLERANT. MATTING FOR SOIL AND MOISTURE RETENTION SHALL BE USED IN ALL SEEDING APPLICATIONS.
6. STREETS SHALL NOT BE CLOSED TO TWO WAY TRAFFIC.
7. ALL EXCAVATIONS WITHIN PAVED SURFACES OR WITHIN TWO (2) FEET OF THE BACK OF CURB OR SIDEWALK, WHETHER THEY ARE EXISTING OR PROPOSED, SHALL BE FILLED WITH COMPACTED GRANULAR TRENCH BACKFILL ACCORDING TO IDOT SPECIFICATIONS.
8. ALL CONDUITS AND FIBER OPTIC CABLES SHALL BE INSTALLED BY DIRECTIONAL BORE METHOD.

DRAWING SCALE:
N/A

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

NO.	DATE	DESCRIPTION	BY
5	12/28/20	DUPAGE CNTY/CITY REV	SJP
4	11/19/20	DUPAGE COUNTY REV.	JCS
3	11/16/20	CITY REV.	JCS
2	10/12/20	KANE COUNTY REV.	JCS
1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

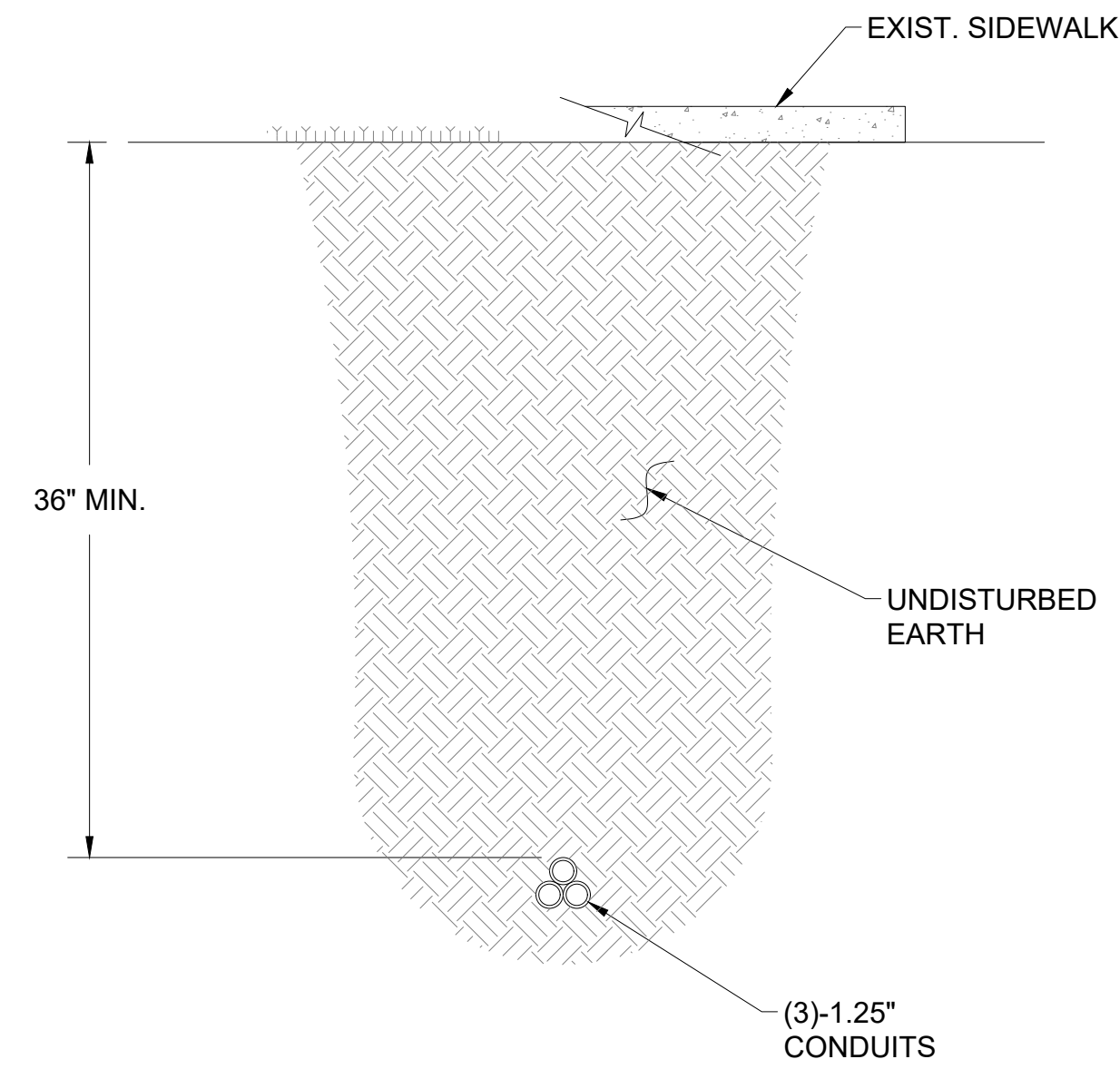
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SHEET NUMBER

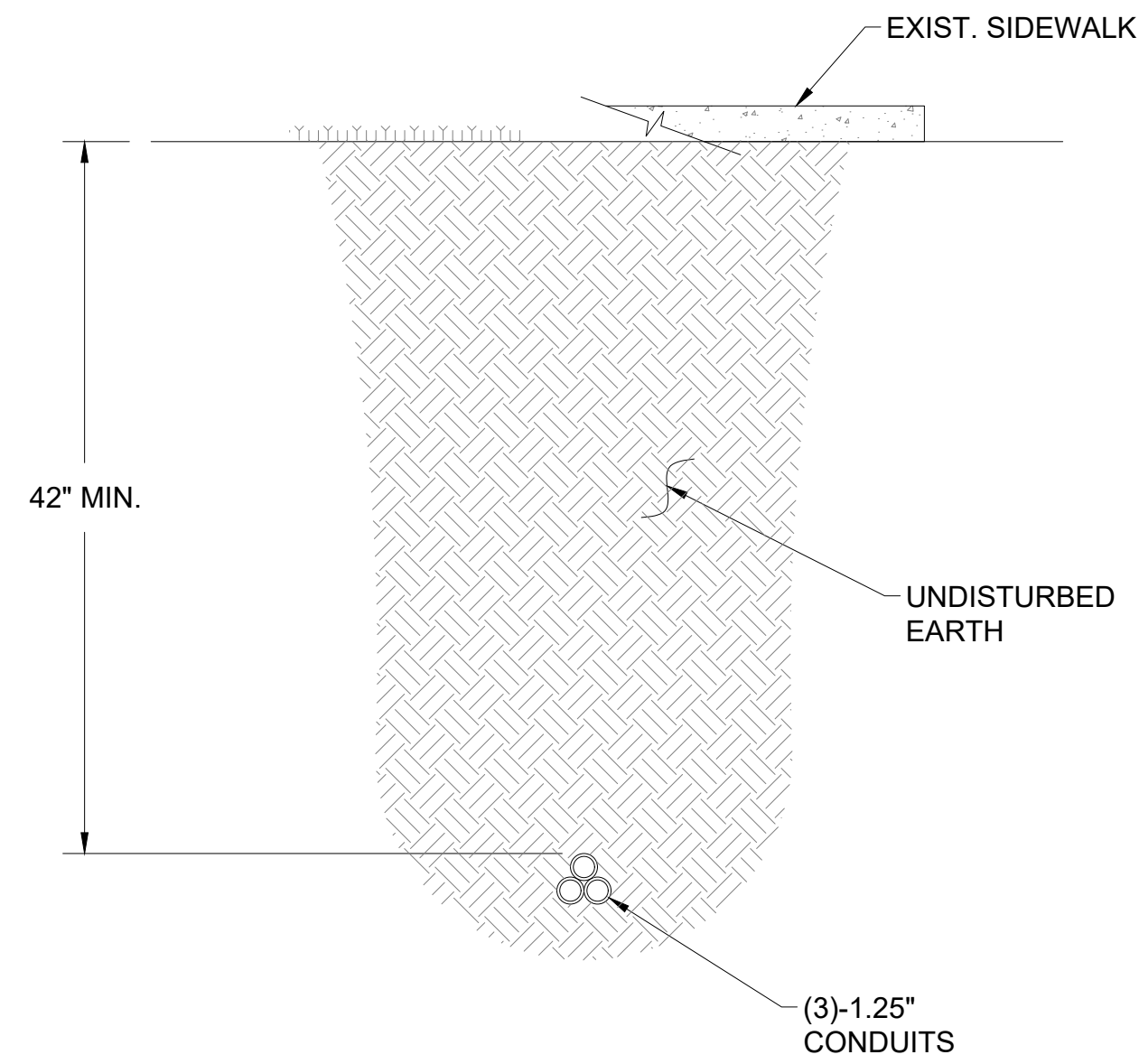
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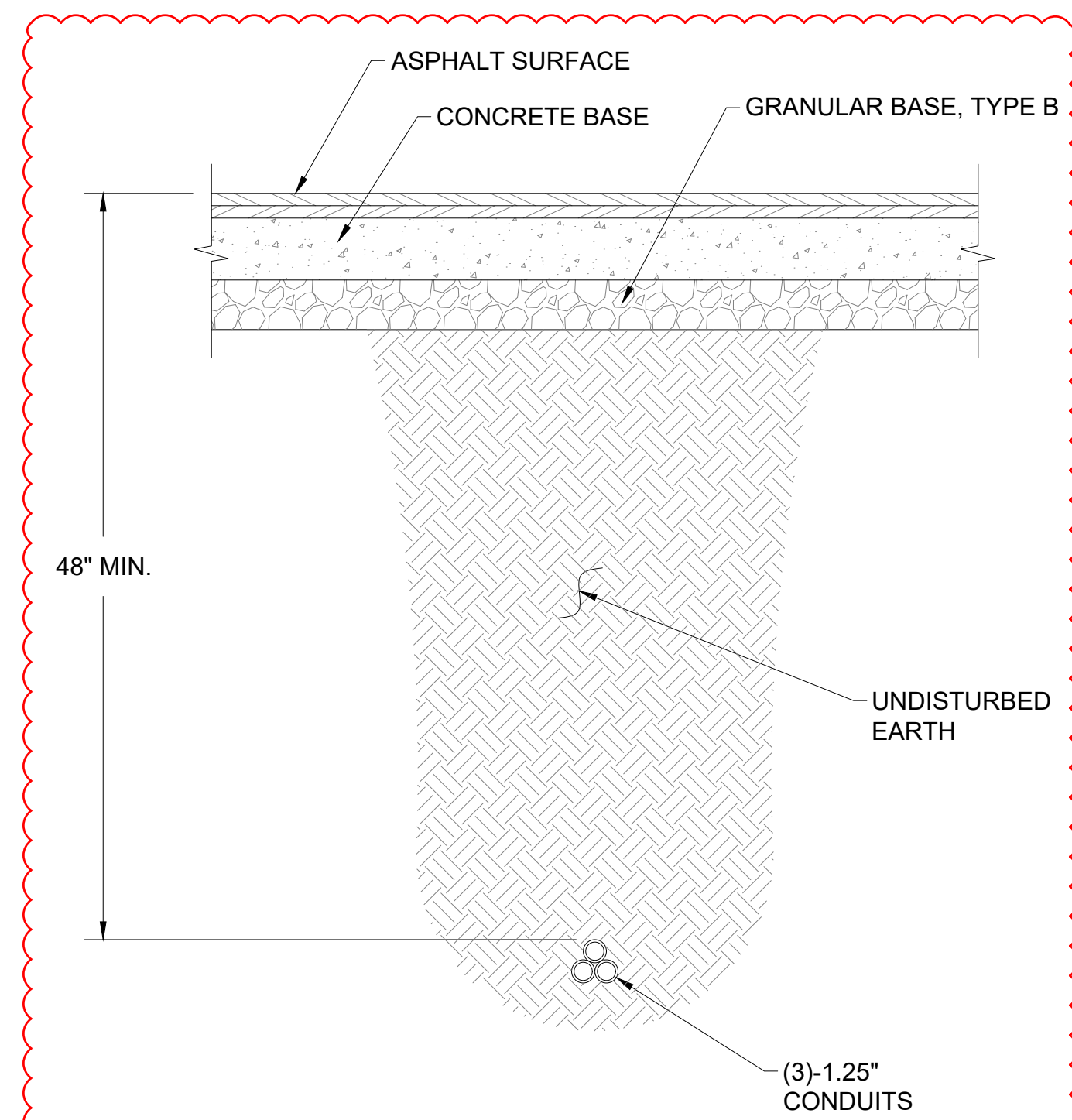
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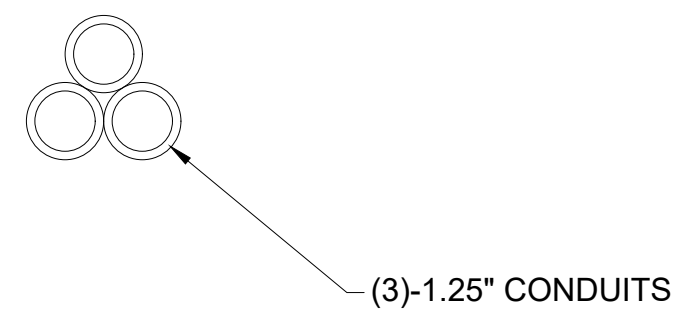
**(3)-1.25" BORE CROSS SECTION
SIDEWALK/PARKWAY**
SCALE: NOT TO SCALE



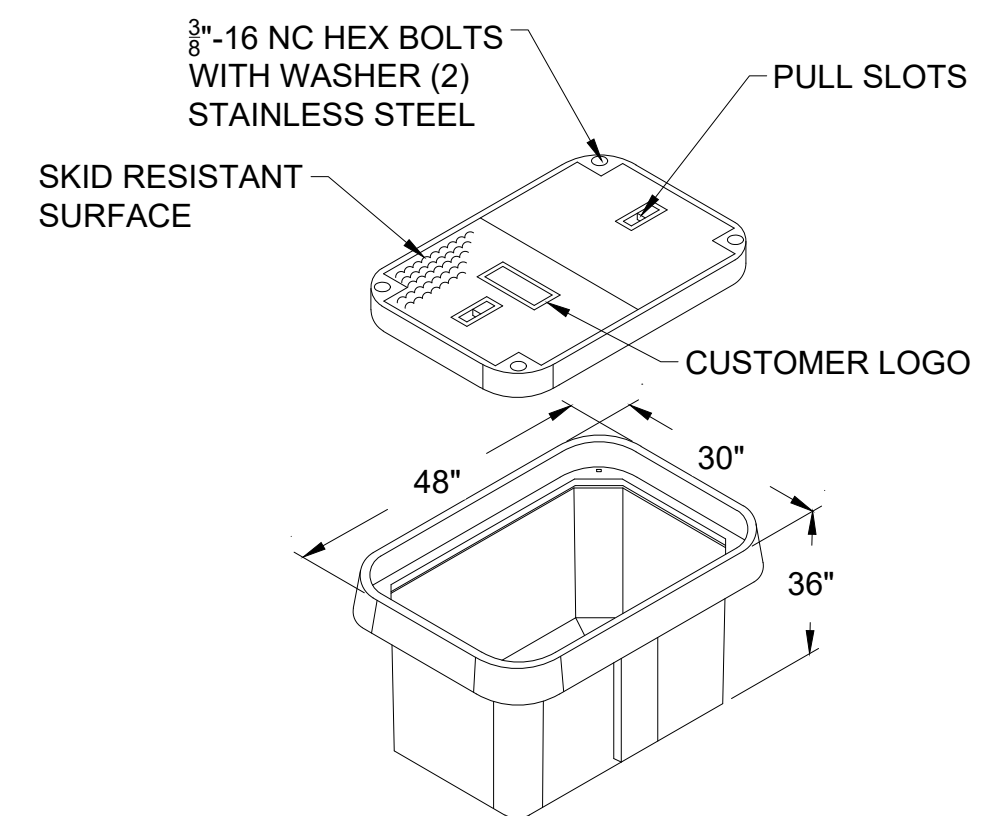
**(3)-1.25" BORE CROSS SECTION
SIDEWALK/PARKWAY**
SCALE: NOT TO SCALE



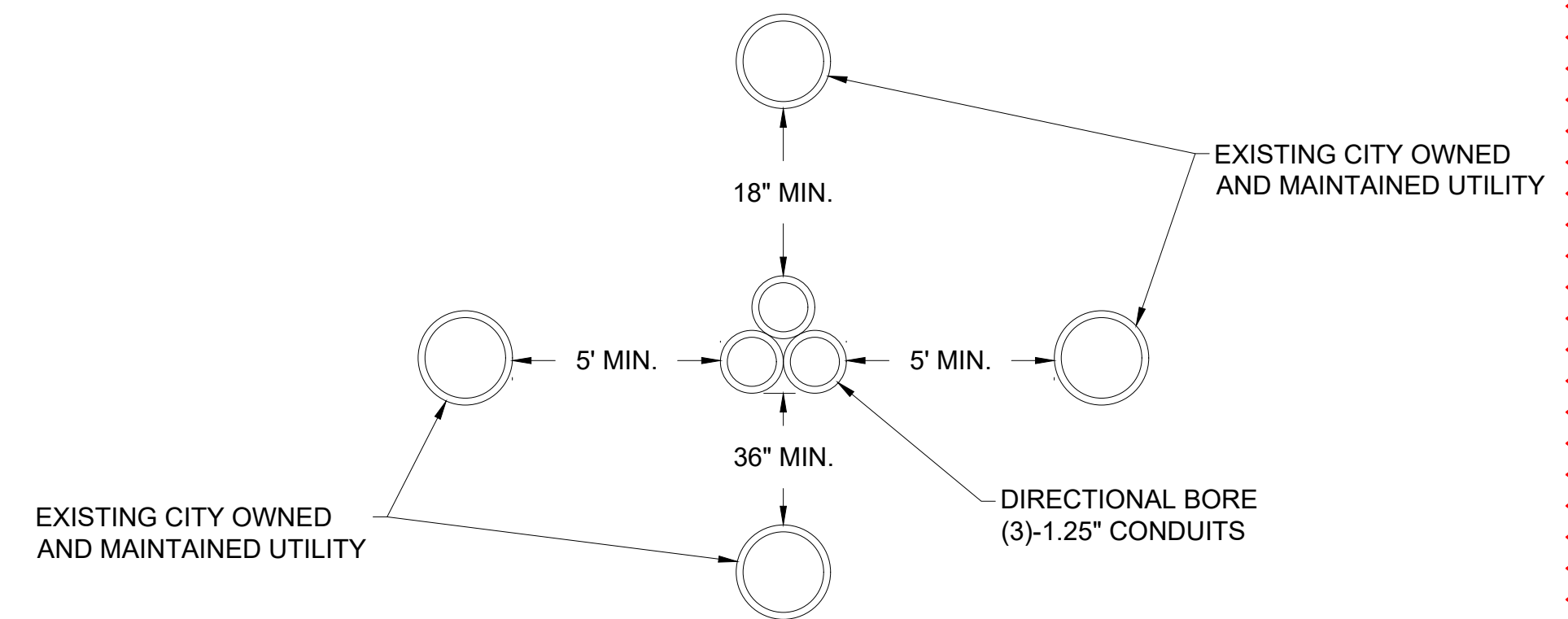
(3)-1.25" BORE CROSS SECTION ROADWAY
SCALE: NOT TO SCALE



(3)-1.25" CONDUITS CROSS SECTION
SCALE: NOT TO SCALE



TYPICAL HANDHOLE (ISO VIEW)
SCALE: NOT TO SCALE



UTILITY SEPARATION DETAIL
SCALE: NOT TO SCALE

DRAWING SCALE:
AS NOTED

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

REVISIONS

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BILL OF MATERIALS			
ITEM NO.	DESCRIPTION	QUANTITY	UNIT
	(3)-1.25" HDPE SDR-11 CONDUITS	9033	LF
	10 AWG TRACER WIRE	9033	LF
	DIRECTIONAL BORE	9033	LF
	2' x 2' TEST WINDOW(S)	34	EA
	48" x 30" x 36" HANDHOLE	14	EA

DRAWING SCALE:
N/A

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
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FAX 630.572.9998

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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

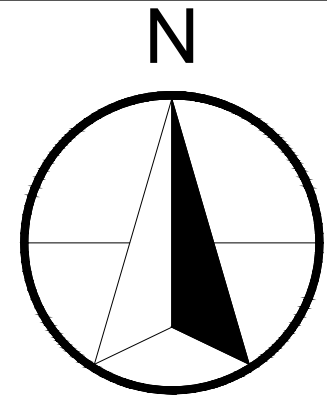
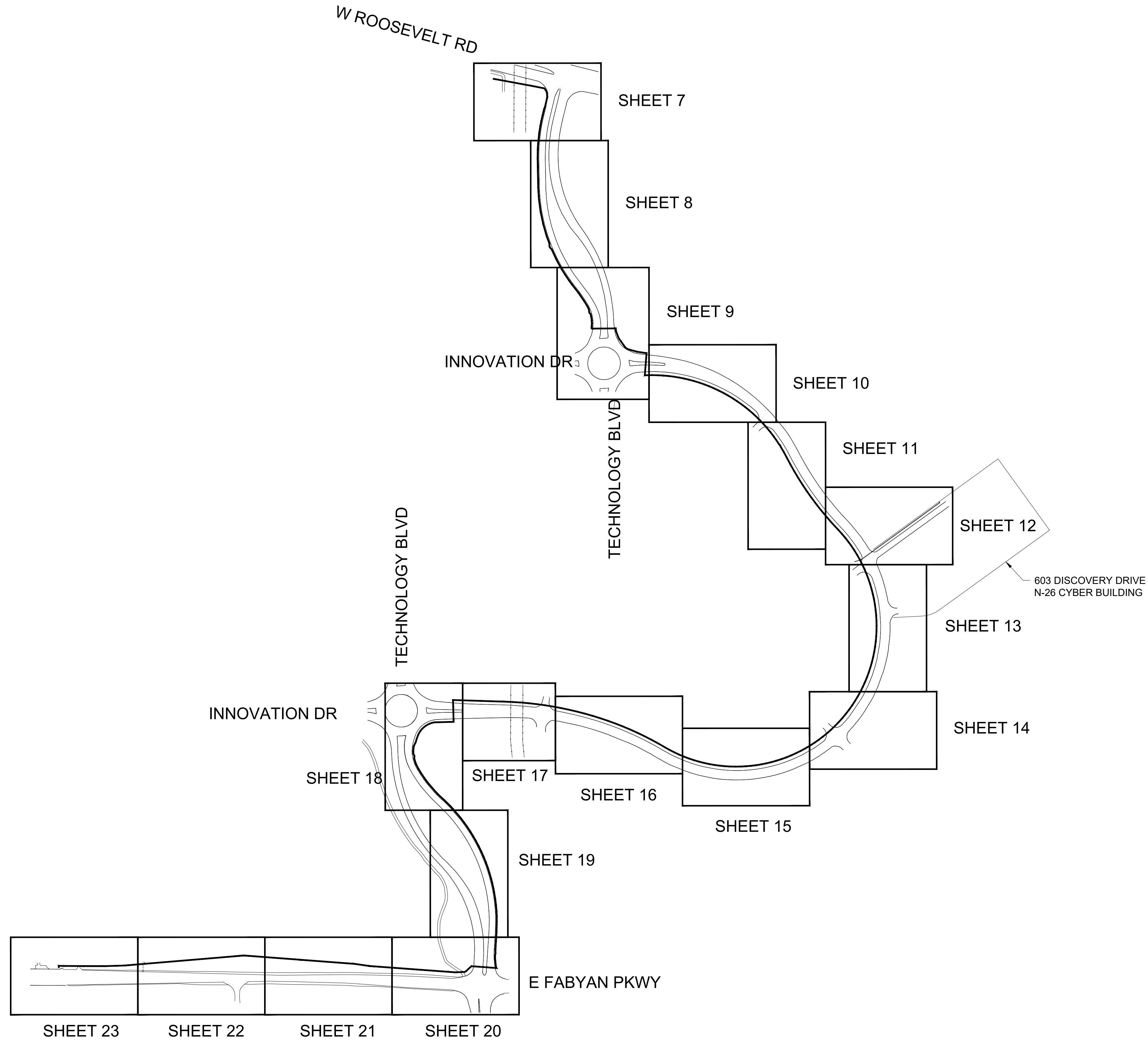
REVISIONS

SHEET NUMBER

5

5 OF 27

OVERVIEW



DRAWING SCALE:
N.T.S.

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



KANE COUNTY
INFORMATION
TECHNOLOGY

719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



NTI NATIONAL
TECHNOLOGIES

1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
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1	10/12/20	DUPAGE COUNTY REV.	JCS
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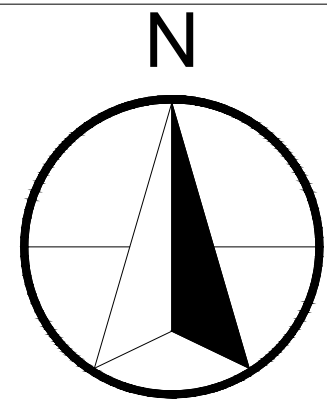
REVISIONS

SHEET NUMBER

6

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PLAN VIEW



DRAWING SCALE:
1" = 20'

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
DRAWN BY: SJP DATE DRAWN: 09/01/20

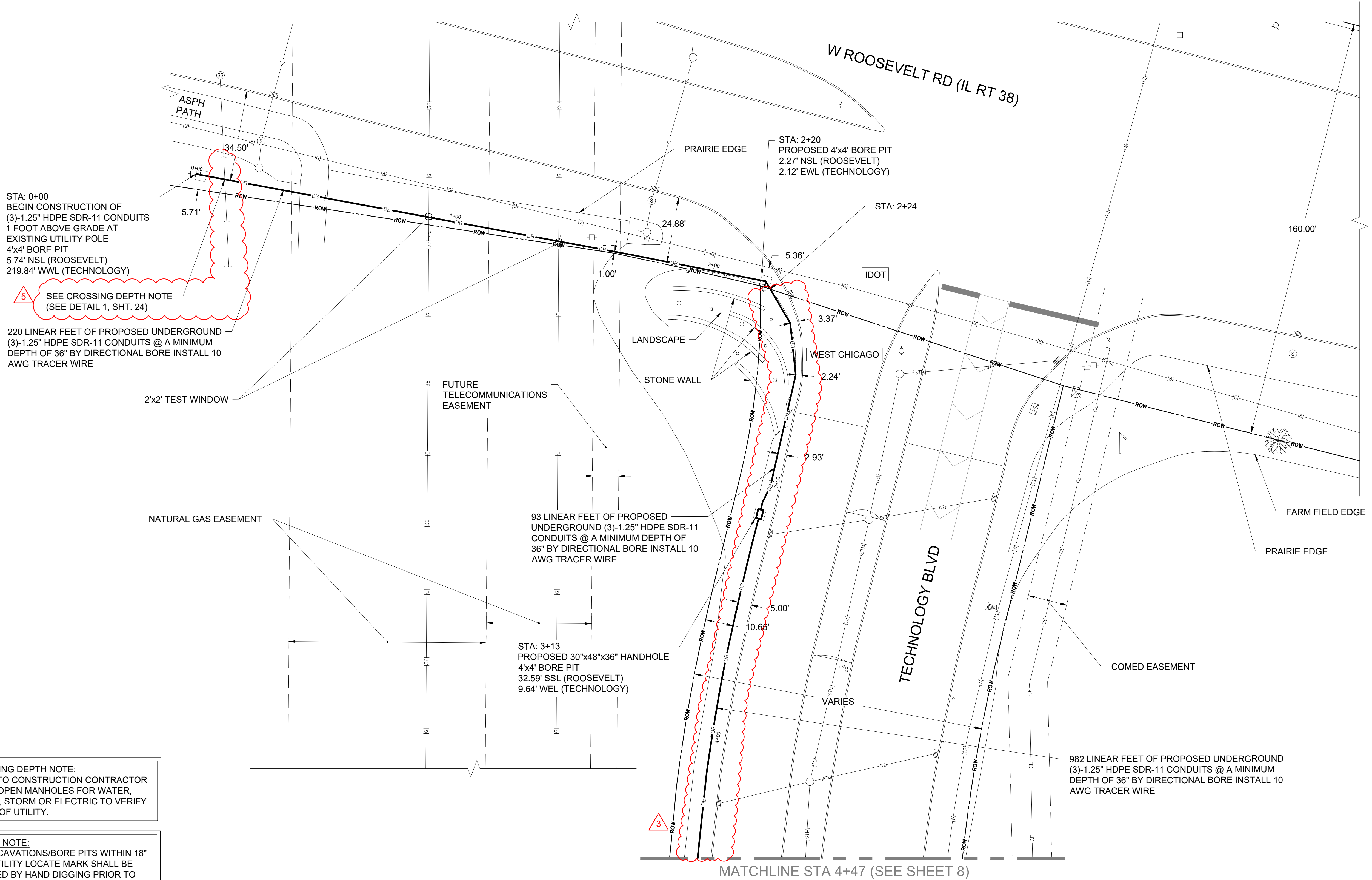
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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

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STA: 0+00
BEGIN CONSTRUCTION OF
(3)-1.25" HDPE SDR-11 CONDUITS
1 FOOT ABOVE GRADE AT
EXISTING UTILITY POLE
4'x4' BORE PIT
5.74' NSL (ROOSEVELT)
219.84' WWL (TECHNOLOGY)

5 SEE CROSSING DEPTH NOTE
(SEE DETAIL 1, SHT. 24)

220 LINEAR FEET OF PROPOSED UNDERGROUND
(3)-1.25" HDPE SDR-11 CONDUITS @ A MINIMUM
DEPTH OF 36" BY DIRECTIONAL BORE INSTALL 10
AWG TRACER WIRE

93 LINEAR FEET OF PROPOSED
UNDERGROUND (3)-1.25" HDPE SDR-11
CONDUITS @ A MINIMUM DEPTH OF
36" BY DIRECTIONAL BORE INSTALL 10
AWG TRACER WIRE

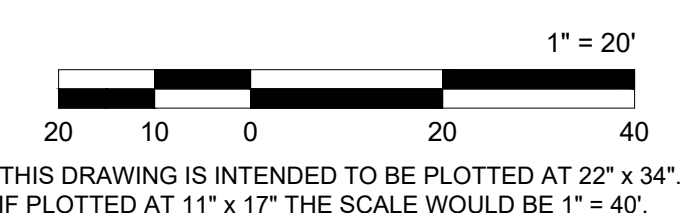
STA: 3+13
PROPOSED 30"x48"x36" HANDHOLE
4'x4' BORE PIT
32.59' SSL (ROOSEVELT)
9.64' WEL (TECHNOLOGY)

982 LINEAR FEET OF PROPOSED UNDERGROUND
(3)-1.25" HDPE SDR-11 CONDUITS @ A MINIMUM
DEPTH OF 36" BY DIRECTIONAL BORE INSTALL 10
AWG TRACER WIRE

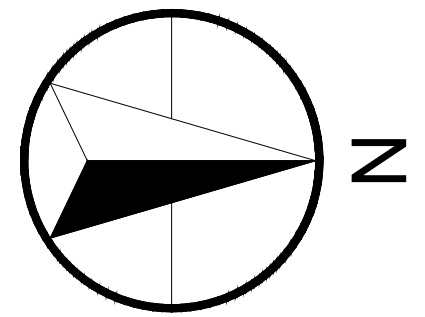
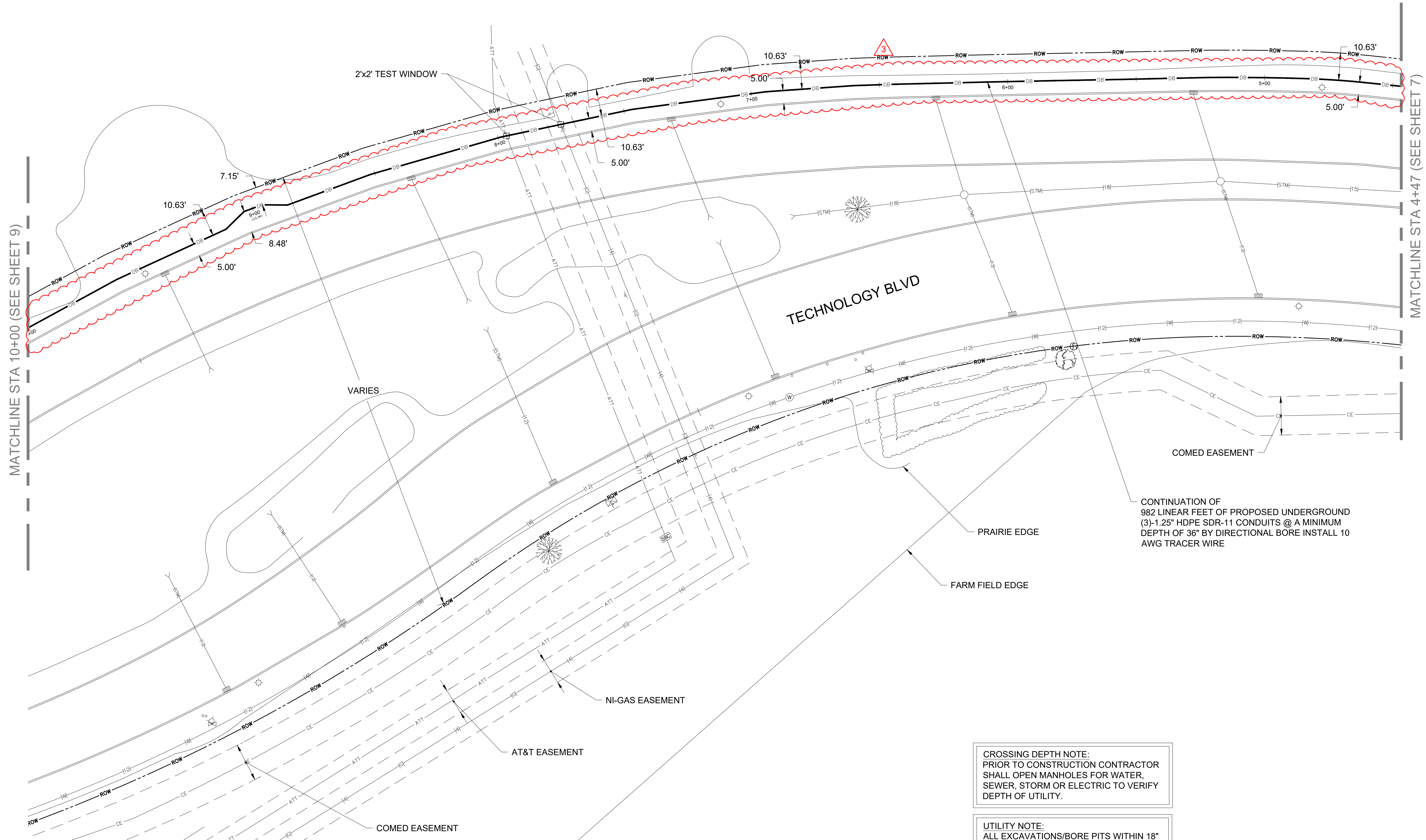
CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR
SHALL OPEN MANHOLES FOR WATER,
SEWER, STORM OR ELECTRIC TO VERIFY
DEPTH OF UTILITY.

UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18"
OF A UTILITY LOCATE MARK SHALL BE
LOCATED BY HAND DIGGING PRIOR TO
START OF WORK.

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE RESTORED
TO PRE-EXISTING CONDITION OR BETTER.



PLAN VIEW



DRAWING SCALE:
1" = 20'

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
DRAWN BY: SJP DATE DRAWN: 09/01/20

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	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

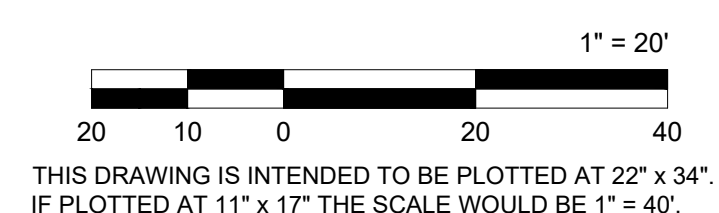
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CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR SHALL OPEN MANHOLES FOR WATER, SEWER, STORM OR ELECTRIC TO VERIFY DEPTH OF UTILITY.

UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18" OF A UTILITY LOCATE MARK SHALL BE LOCATED BY HAND DIGGING PRIOR TO START OF WORK.

RESTORATION NOTE:
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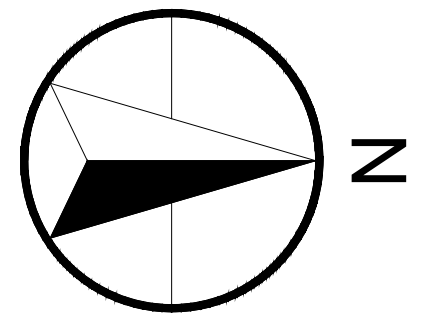
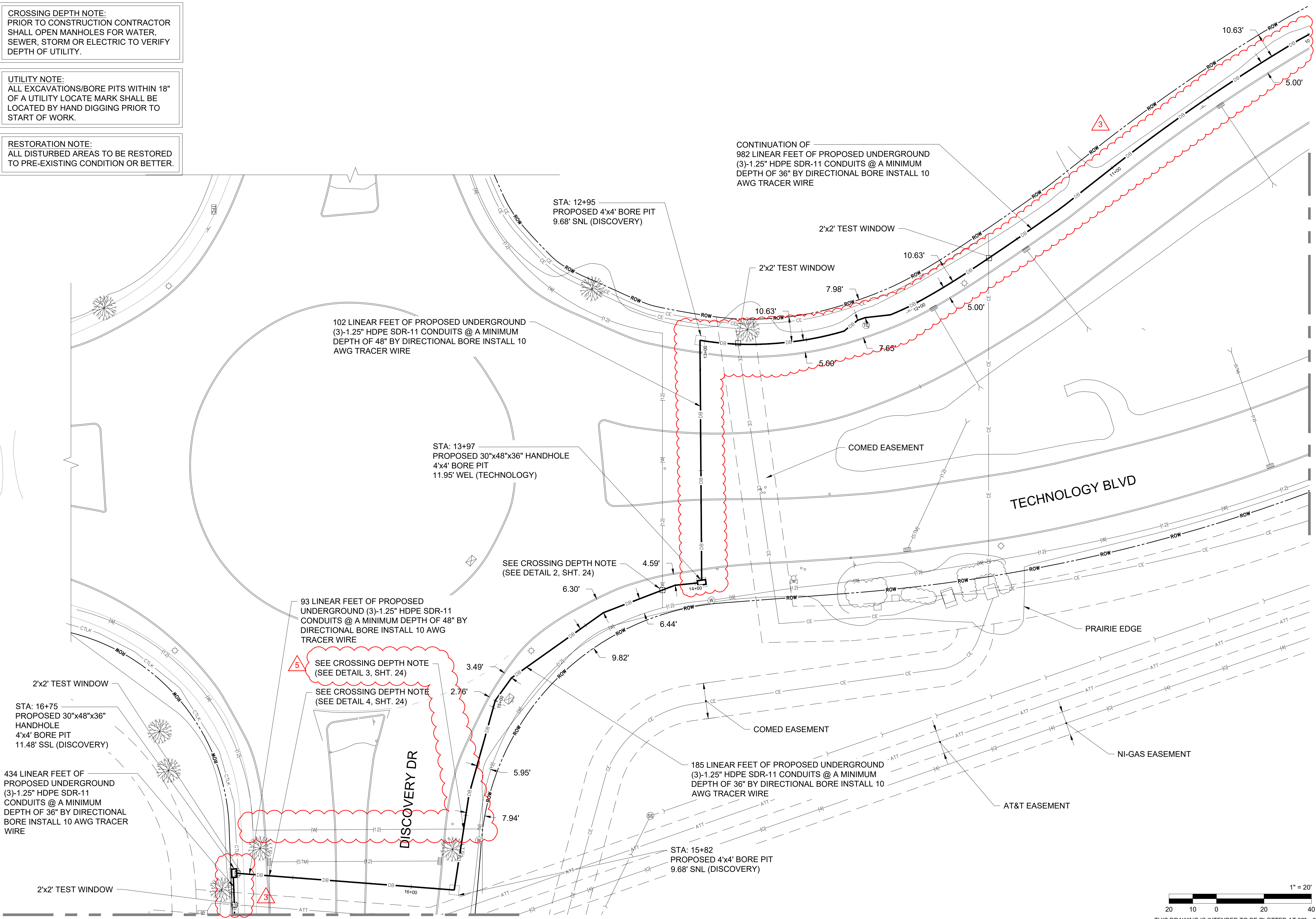


PLAN VIEW

CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR
SHALL OPEN MANHOLES FOR WATER,
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DEPTH OF UTILITY.

UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18"
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RESTORATION NOTE:
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TO PRE-EXISTING CONDITION OR BETTER.



DRAWING SCALE:
1" = 20'

ENGINEER:

5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:

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GENEVA, IL 60134
OFFICE: 630.208.8655
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CONTRACTOR:

1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

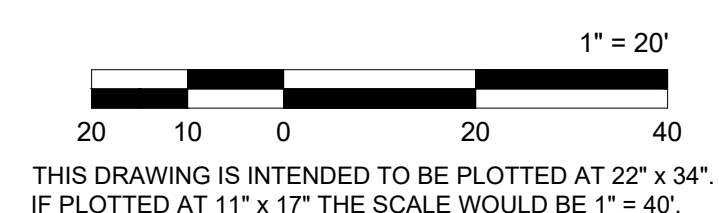
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	09/17/20	PERMIT	SJP

REVISIONS

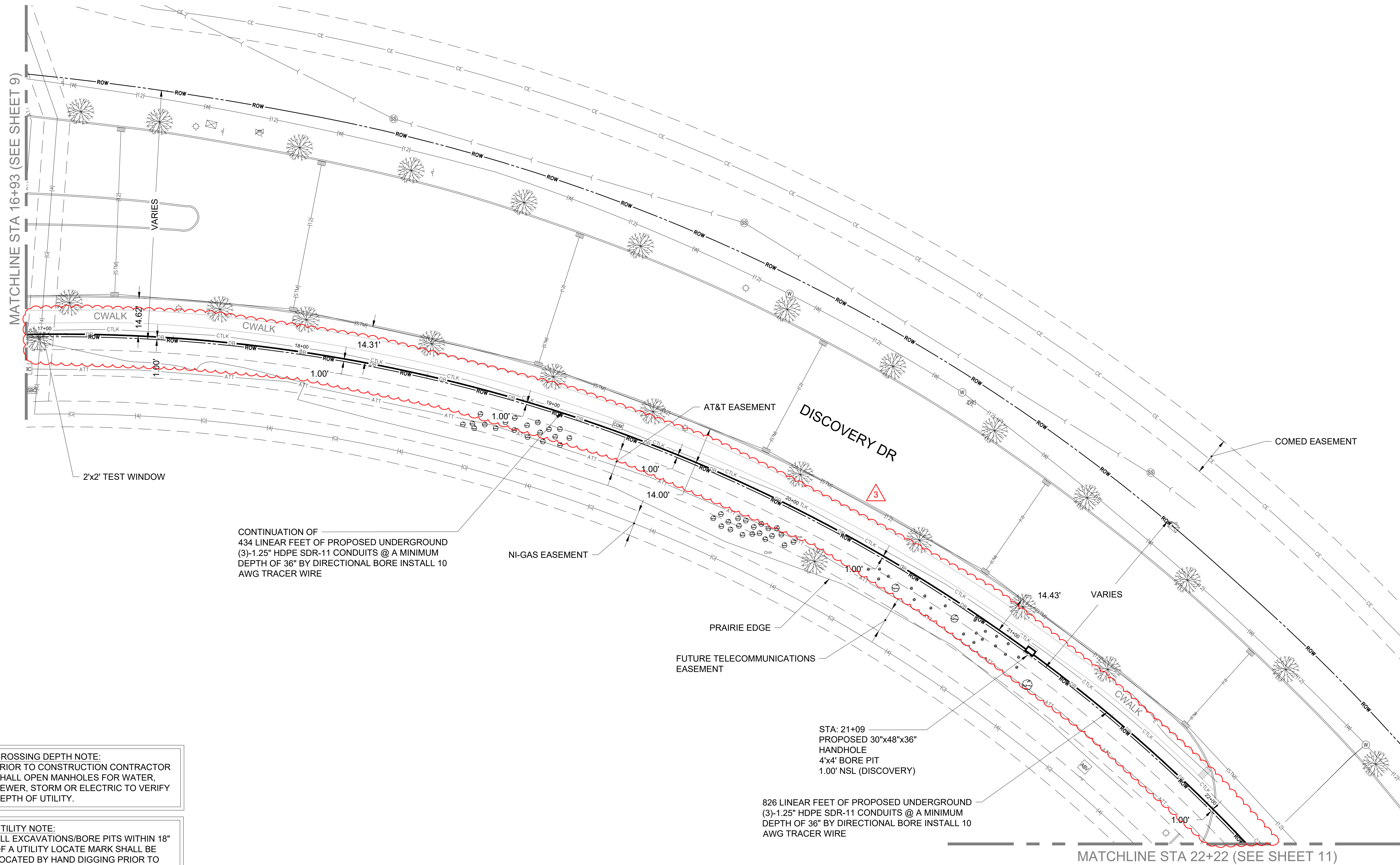
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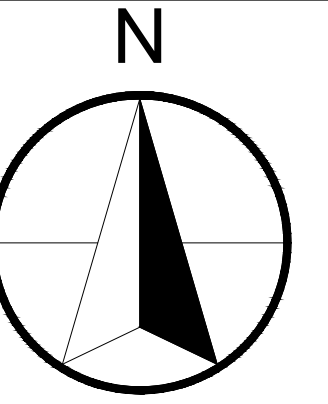
PLAN VIEW



CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR SHALL OPEN MANHOLES FOR WATER, SEWER, STORM OR ELECTRIC TO VERIFY DEPTH OF UTILITY.

UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18" OF A UTILITY LOCATE MARK SHALL BE LOCATED BY HAND DIGGING PRIOR TO START OF WORK.

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.



DRAWING SCALE:
1" = 20'

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

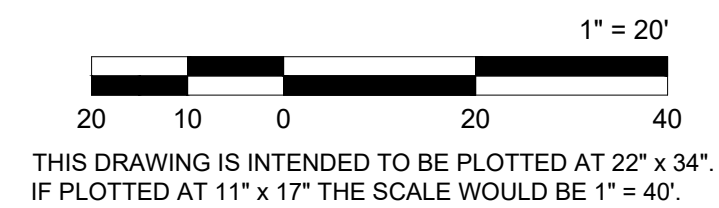
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REVISIONS

SHEET NUMBER

10

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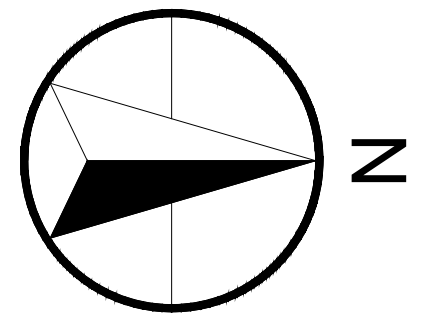
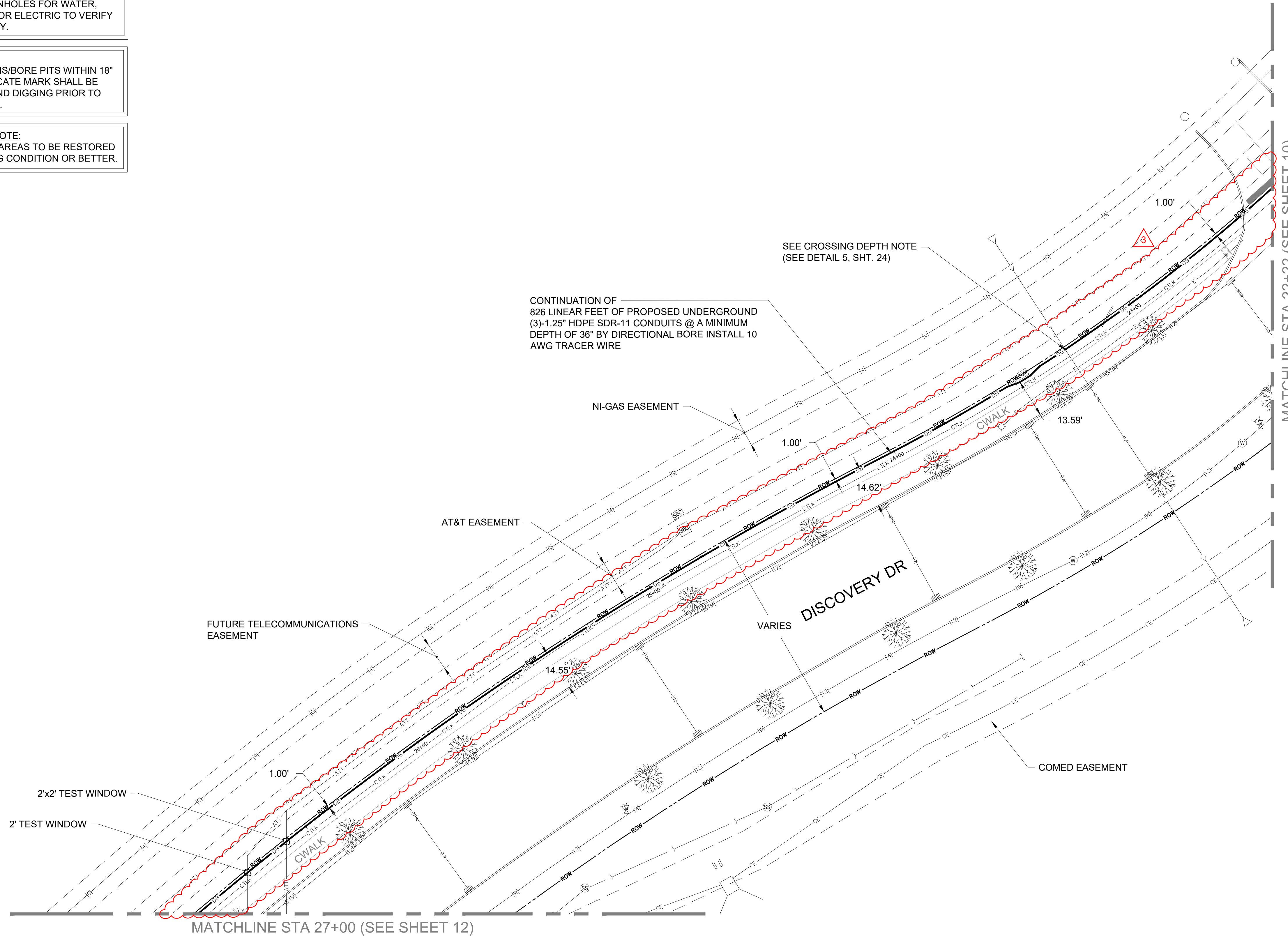


PLAN VIEW

CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR
SHALL OPEN MANHOLES FOR WATER,
SEWER, STORM OR ELECTRIC TO VERIFY
DEPTH OF UTILITY.

UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18"
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LOCATED BY HAND DIGGING PRIOR TO
START OF WORK.

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE RESTORED
TO PRE-EXISTING CONDITION OR BETTER.



DRAWING SCALE:
1" = 20'

ENGINEER:

 5101 THATCHER DR.
 DOWNERS GROVE, IL 60515
 OFFICE 630.572.9999
 FAX 630.572.9998

OWNER:

 719 S. BATAVIA AVE.
 GENEVA, IL 60134
 OFFICE: 630.208.8655
 FAX: 630.208.8659

CONTRACTOR:

 1350 W WASHINGTON ST
 WEST CHICAGO, IL 60185
 OFFICE: 630.851.7751

TITLE:

 OUTSIDE PLANT FIBER
 OPTIC BUILD

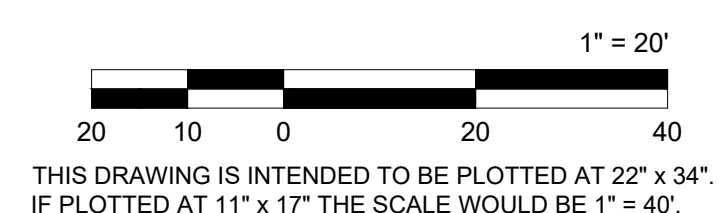
 603 DISCOVERY DR
 WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
 DRAWN BY: SJP DATE DRAWN: 09/01/20

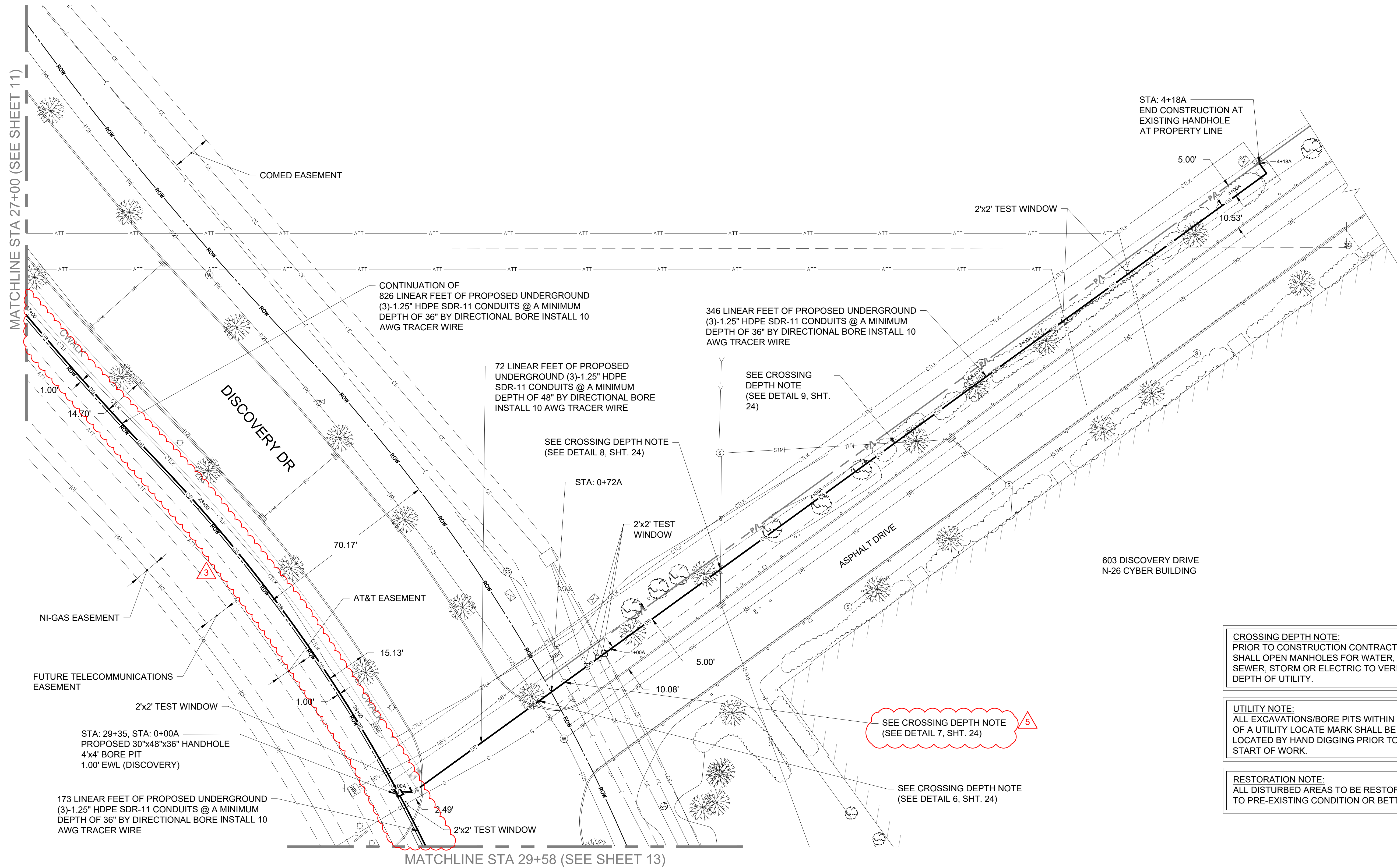
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3	11/16/20	CITY REV.	JCS
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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER
11
 11 OF 27



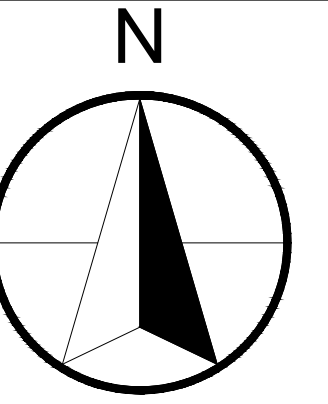
PLAN VIEW



CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR SHALL OPEN MANHOLES FOR WATER, SEWER, STORM OR ELECTRIC TO VERIFY DEPTH OF UTILITY.

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RESTORATION NOTE:
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DRAWING SCALE:
1" = 20'

ENGINEER:
CCSI
5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:
KANE COUNTY INFORMATION TECHNOLOGY
719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:
NTI NATIONAL TECHNOLOGIES
1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:
OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
DRAWN BY: SJP
DATE DRAWN: 09/01/20

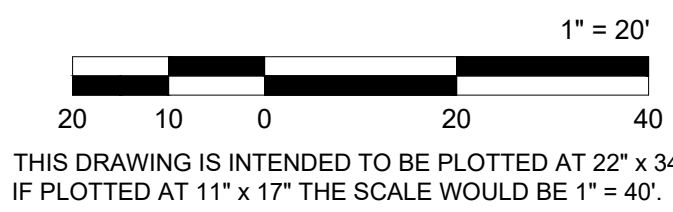
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5	12/28/20	DUPAGE CNTY/CITY REV	SJP
4	11/19/20	DUPAGE COUNTY REV.	JCS
3	11/16/20	CITY REV.	JCS
2	10/12/20	KANE COUNTY REV.	JCS
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	09/17/20	PERMIT	SJP

REVISIONS

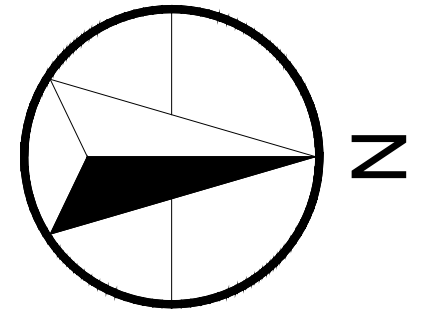
SHEET NUMBER

12

12 OF 27



PLAN VIEW



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1" = 20'

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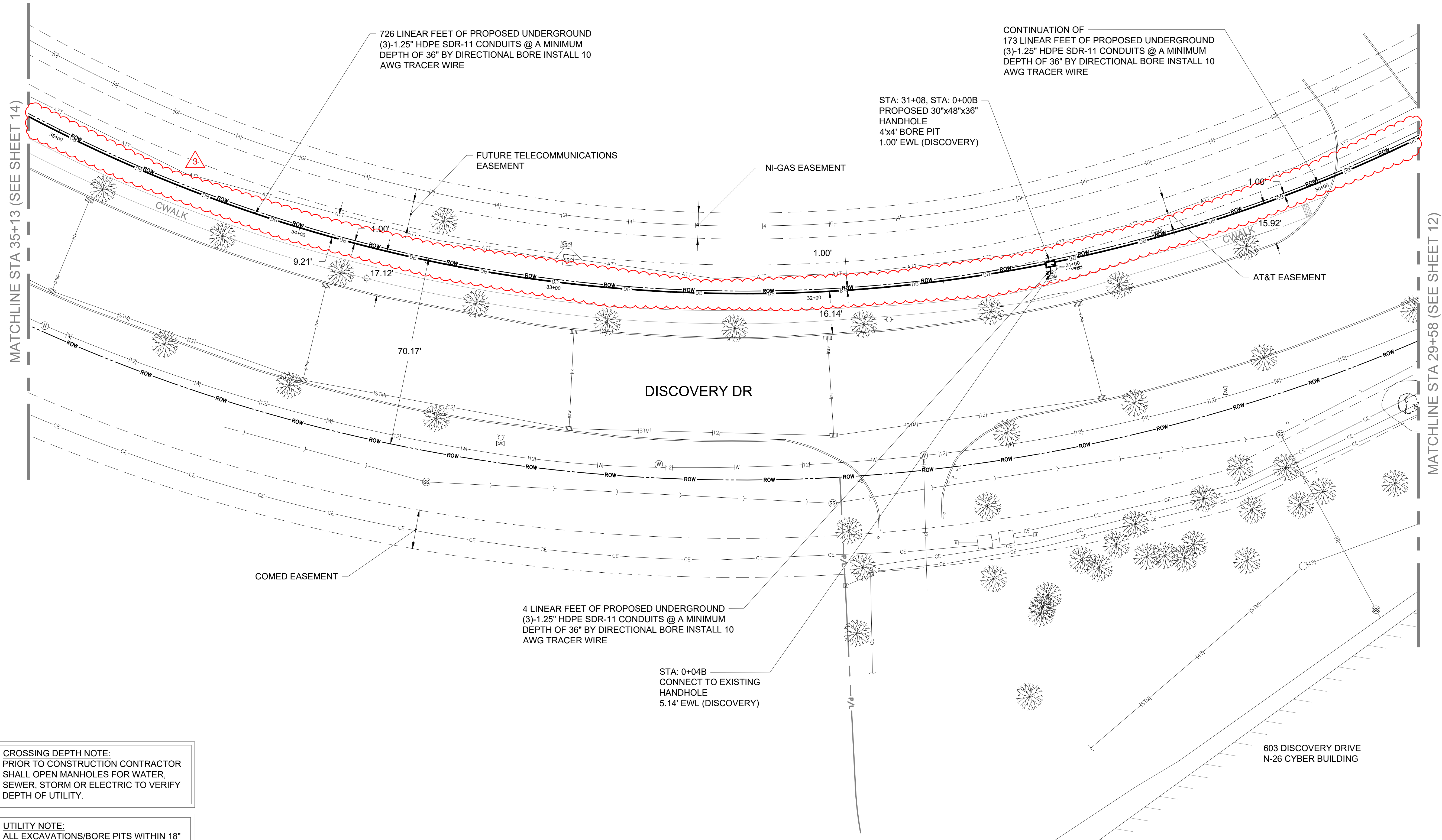
NO.	DATE	DESCRIPTION	BY
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REVISIONS

SHEET NUMBER

13

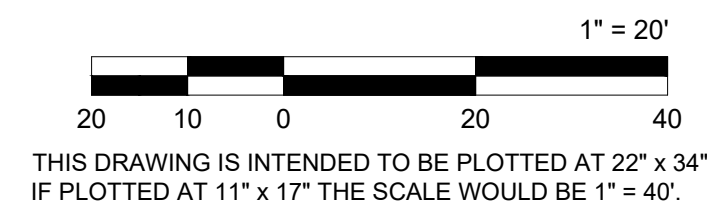
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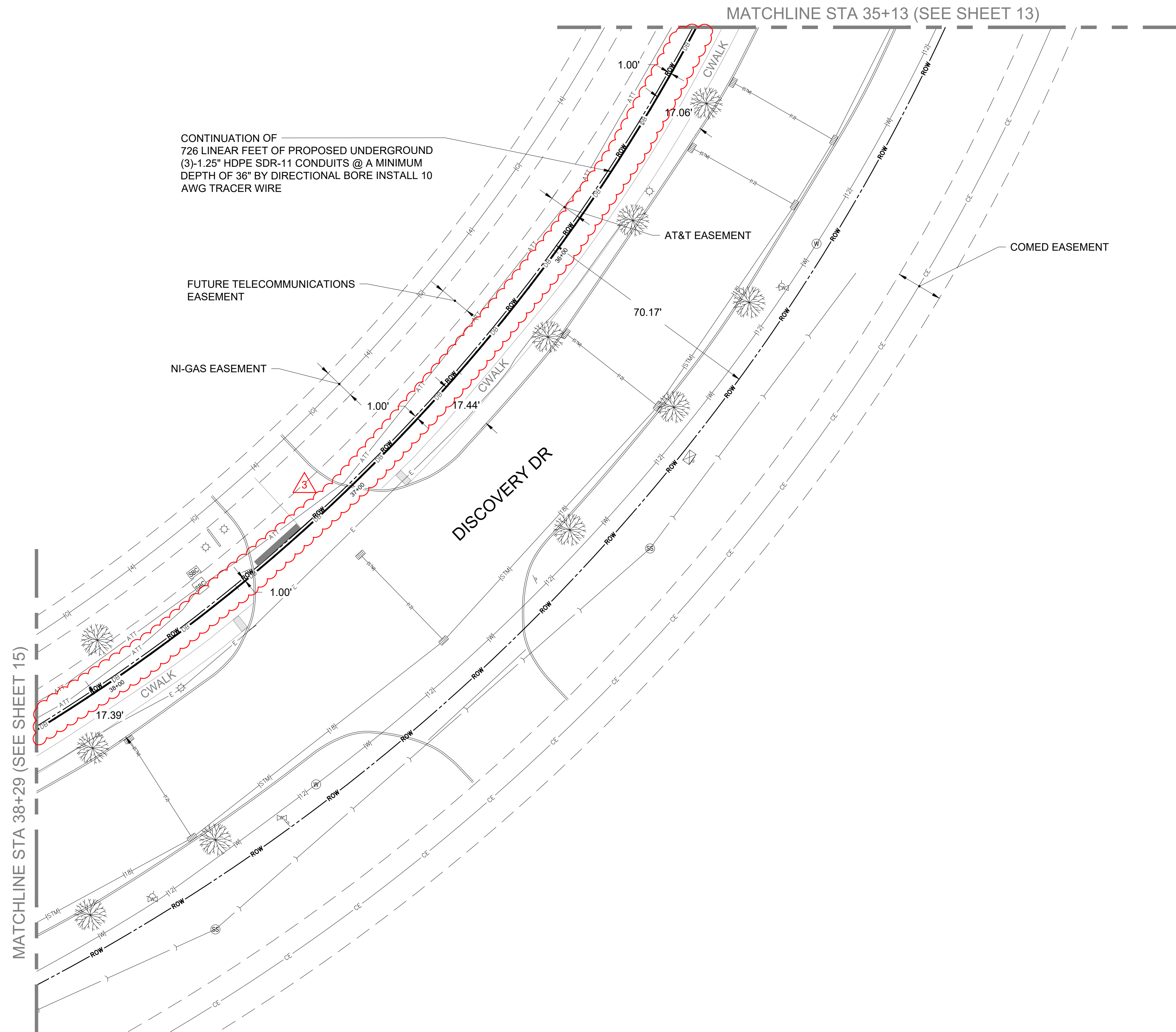
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PLAN VIEW



CONTINUATION OF
726 LINEAR FEET OF PROPOSED UNDERGROUND
(3)-1.25" HDPE SDR-11 CONDUITS @ A MINIMUM
DEPTH OF 36" BY DIRECTIONAL BORE INSTALL 10
AWG TRACER WIRE

FUTURE TELECOMMUNICATIONS
EASEMENT

NI-GAS EASEMENT

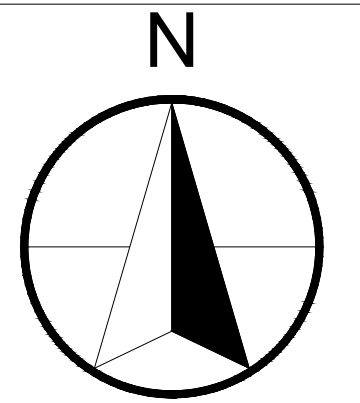
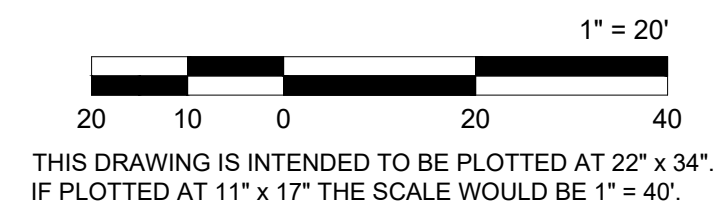
AT&T EASEMENT

COMED EASEMENT

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OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

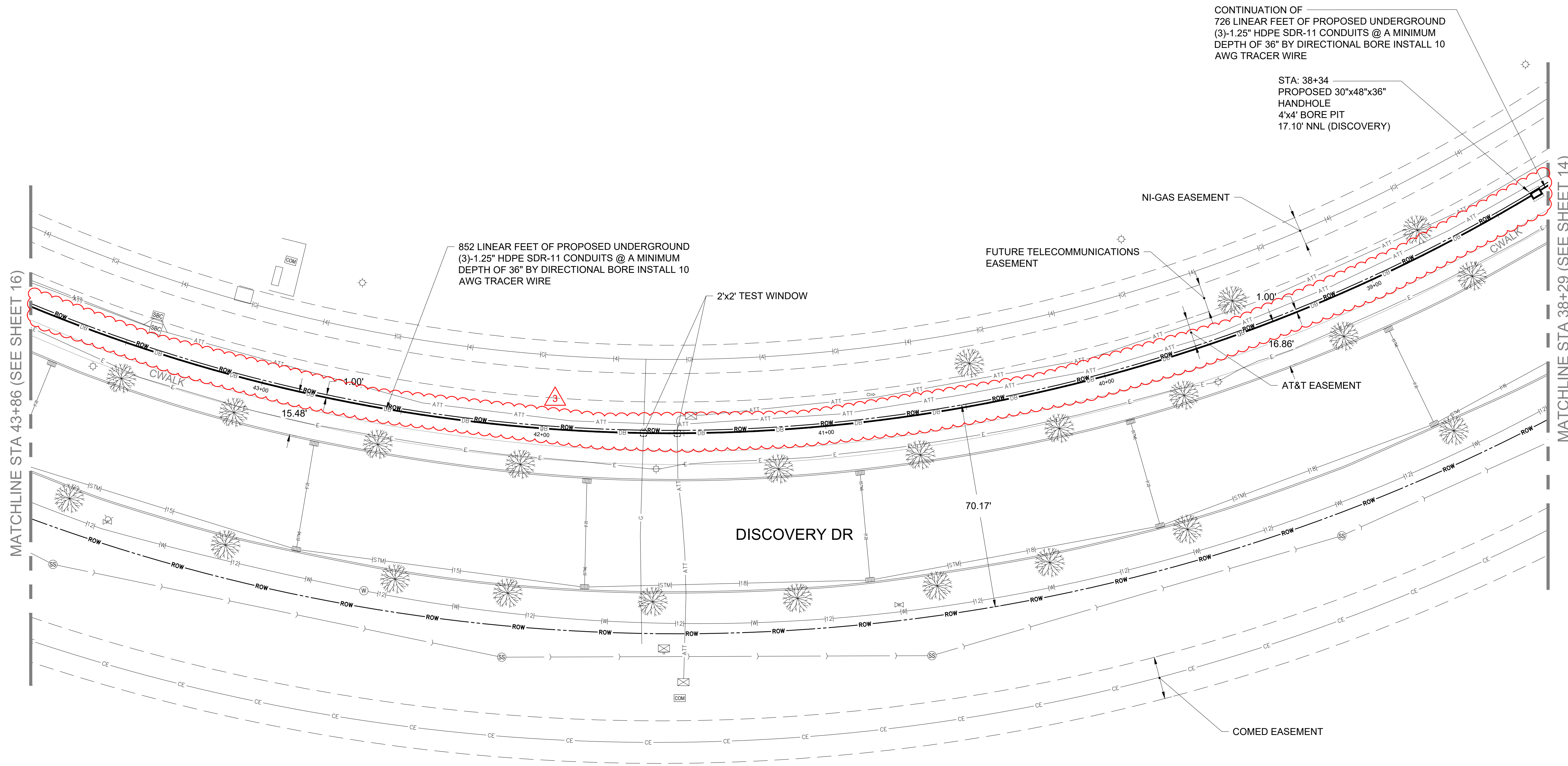
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	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER
14
14 OF 27

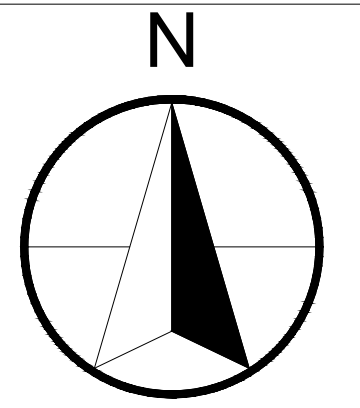
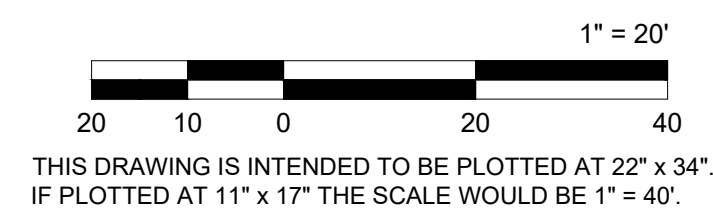
PLAN VIEW



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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

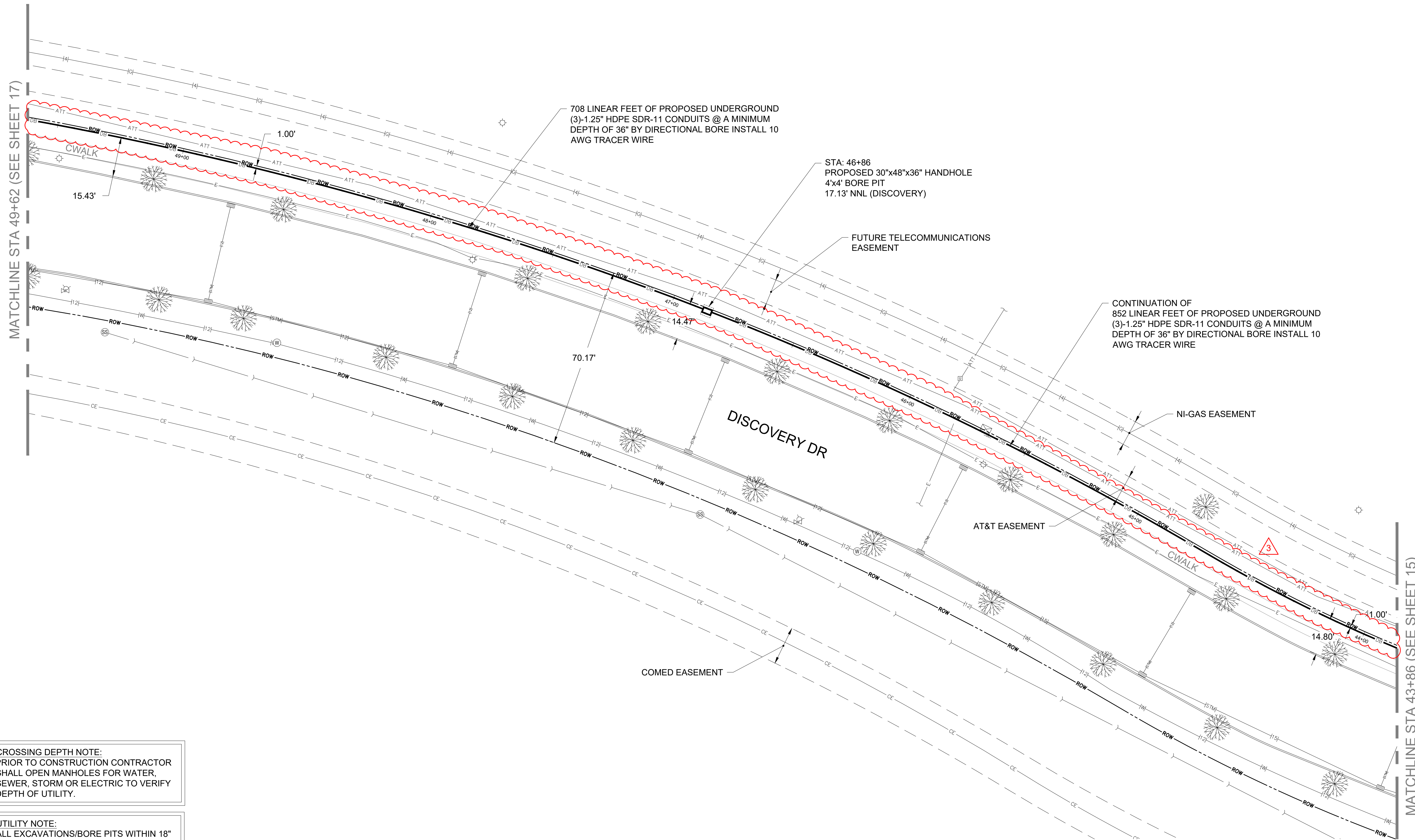
REVISIONS

SHEET NUMBER

15

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PLAN VIEW



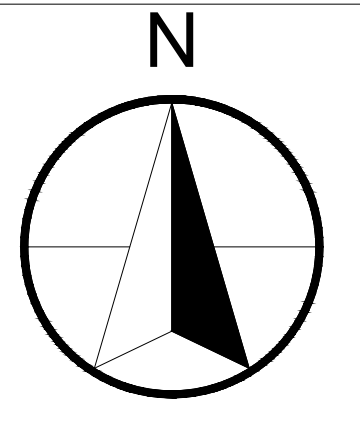
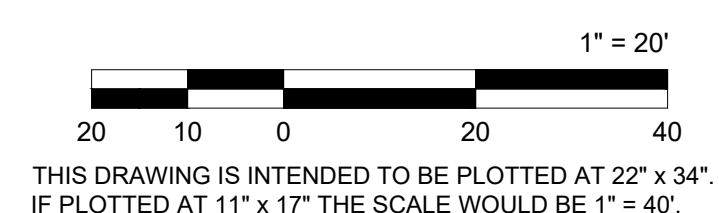
MATCHLINE STA 49+62 (SEE SHEET 17)

MATCHLINE STA 43+86 (SEE SHEET 15)

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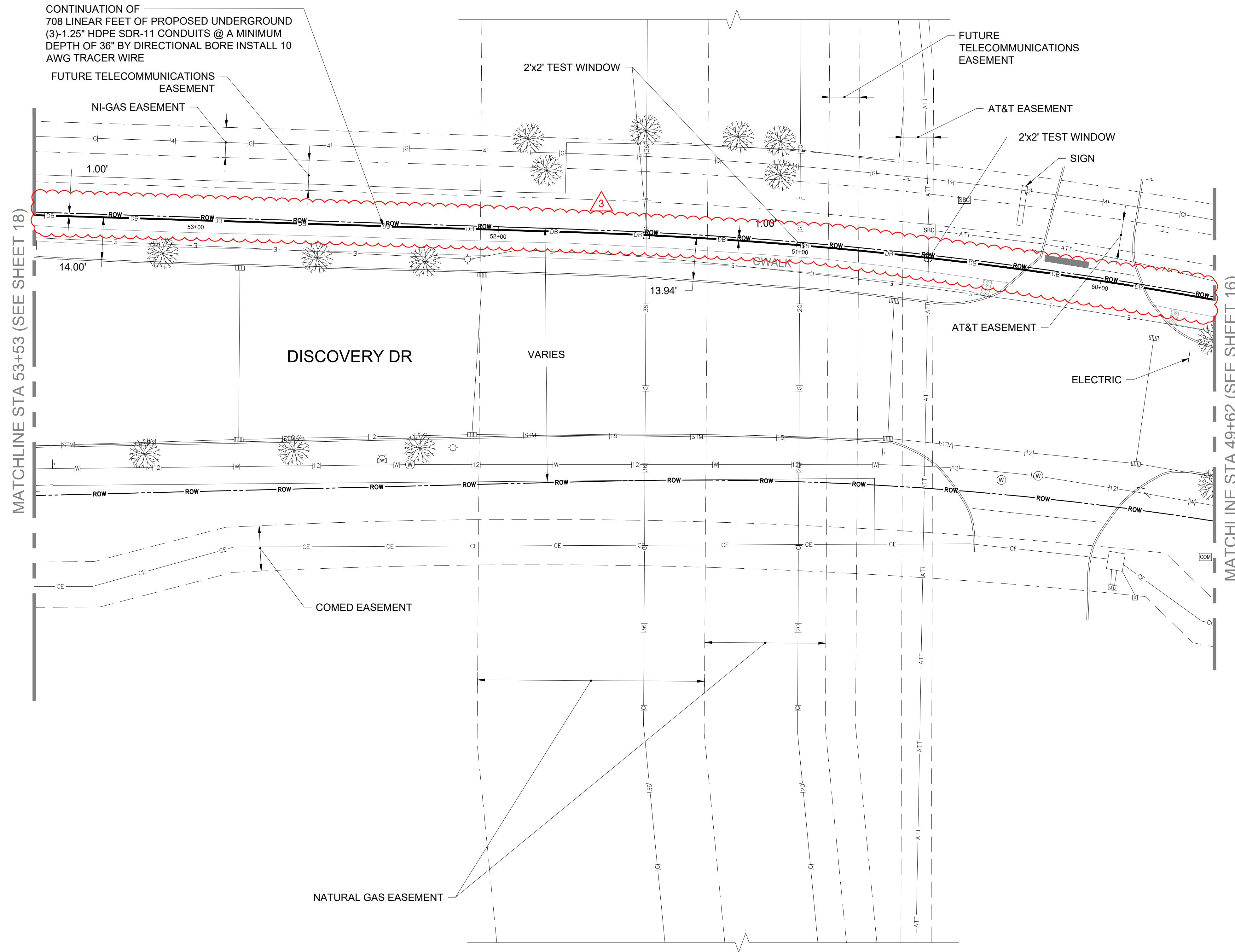
REVISIONS			
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	09/17/20	PERMIT	SJP

SHEET NUMBER

16

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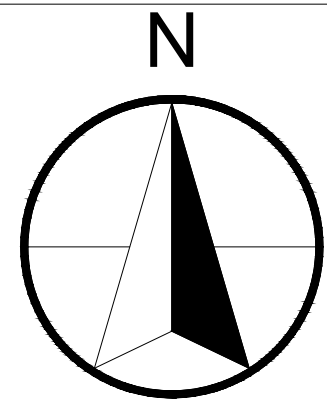
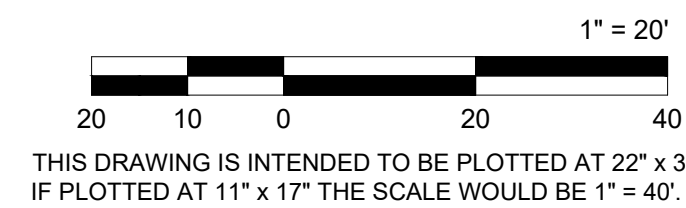
PLAN VIEW



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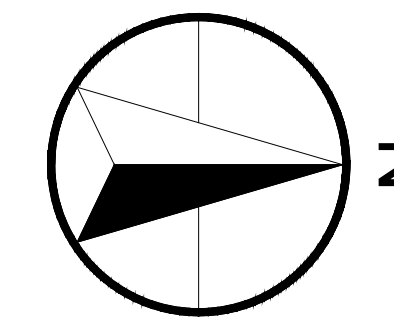
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OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
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	09/17/20	PERMIT	SJP

REVISIONS
SHEET NUMBER
17
17 OF 27

PLAN VIEW



DRAWING SCALE:
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CCSI
5101 THATCHER DR.
DOWNERS GROVE, IL 60515
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OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
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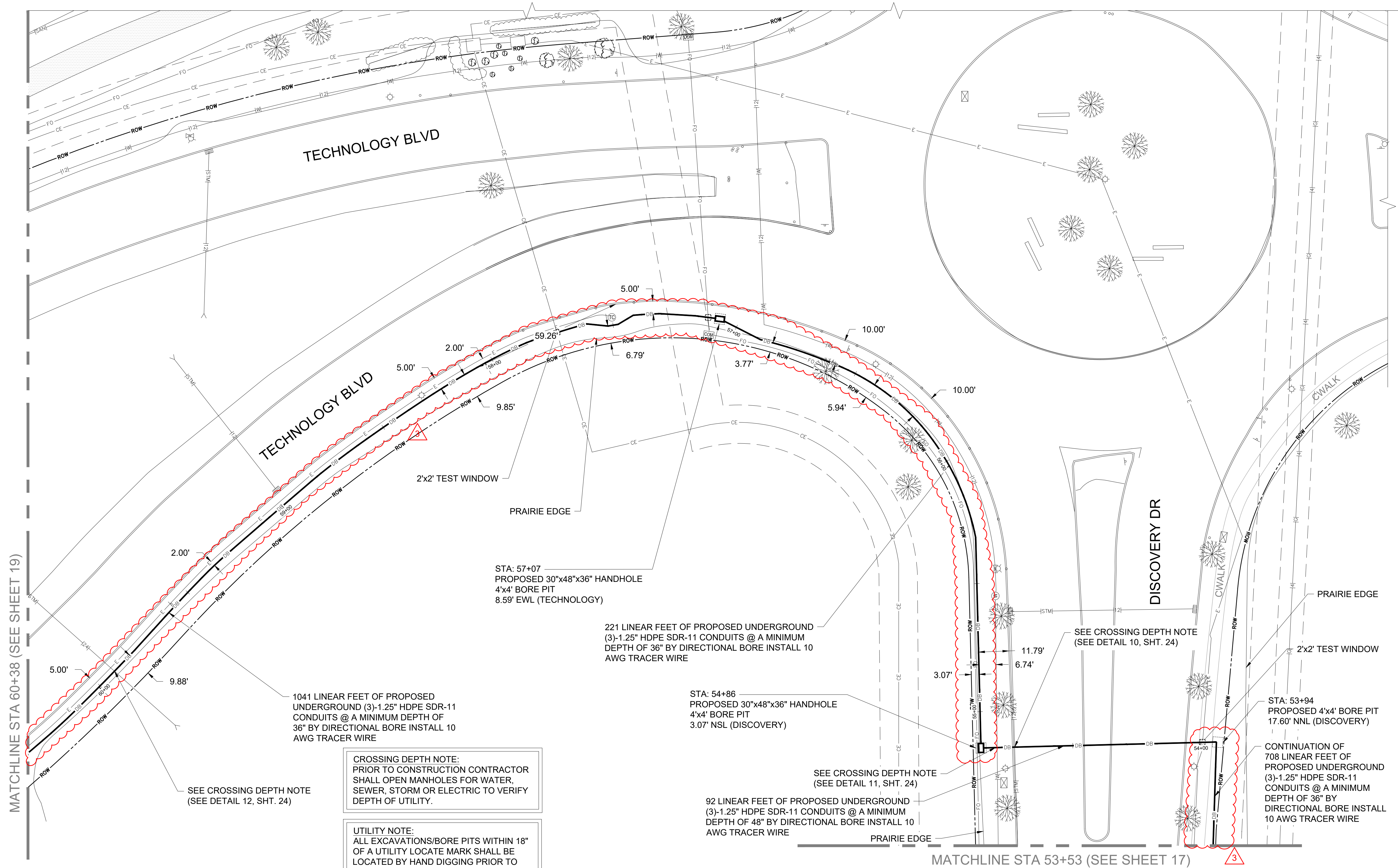
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	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

18

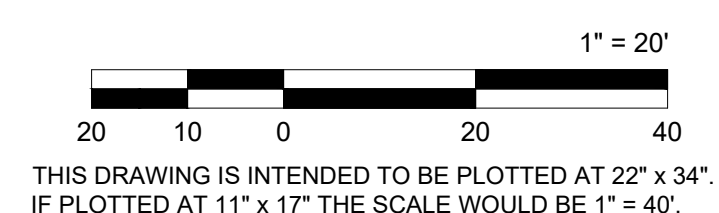
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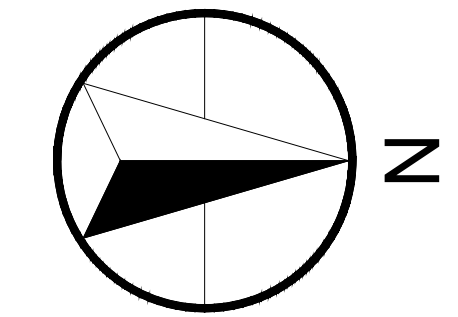
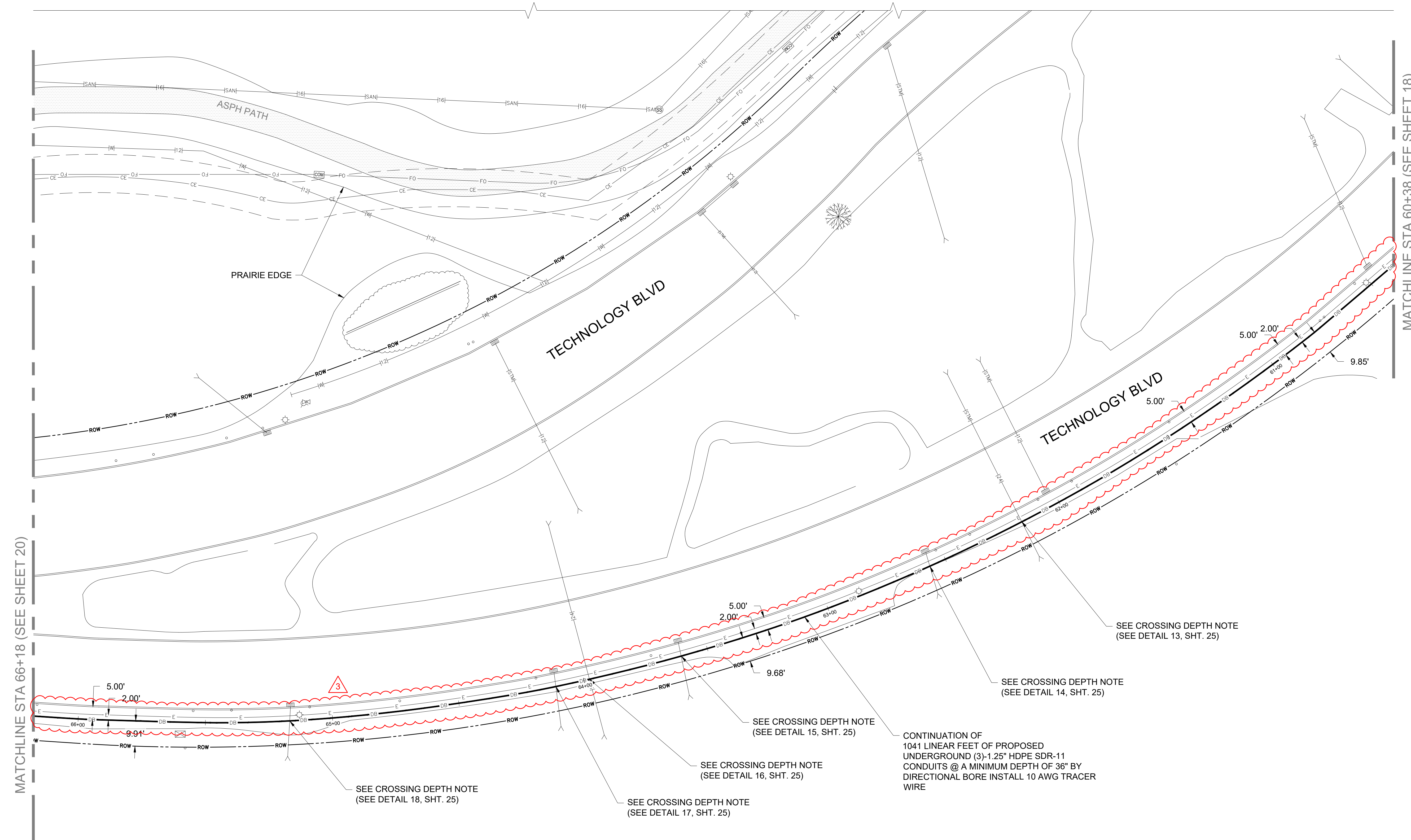


PLAN VIEW

CROSSING DEPTH NOTE:
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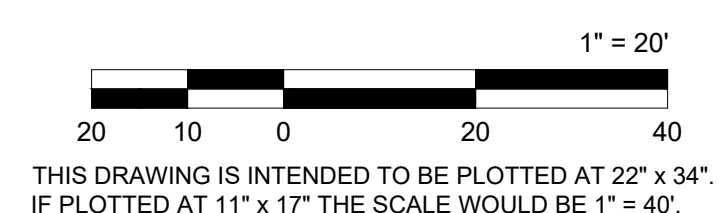
603 DISCOVERY DR
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PROJECT NUMBER: 2026-003
DRAWN BY: SJP DATE DRAWN: 09/01/20

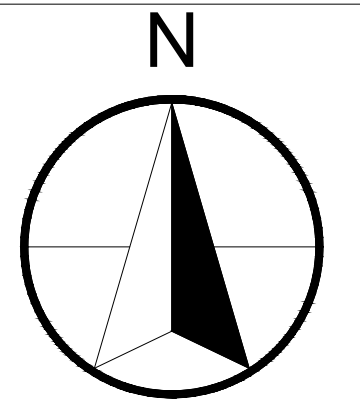
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	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER
19
19 OF 27



PLAN VIEW



DRAWING SCALE:
1" = 20'

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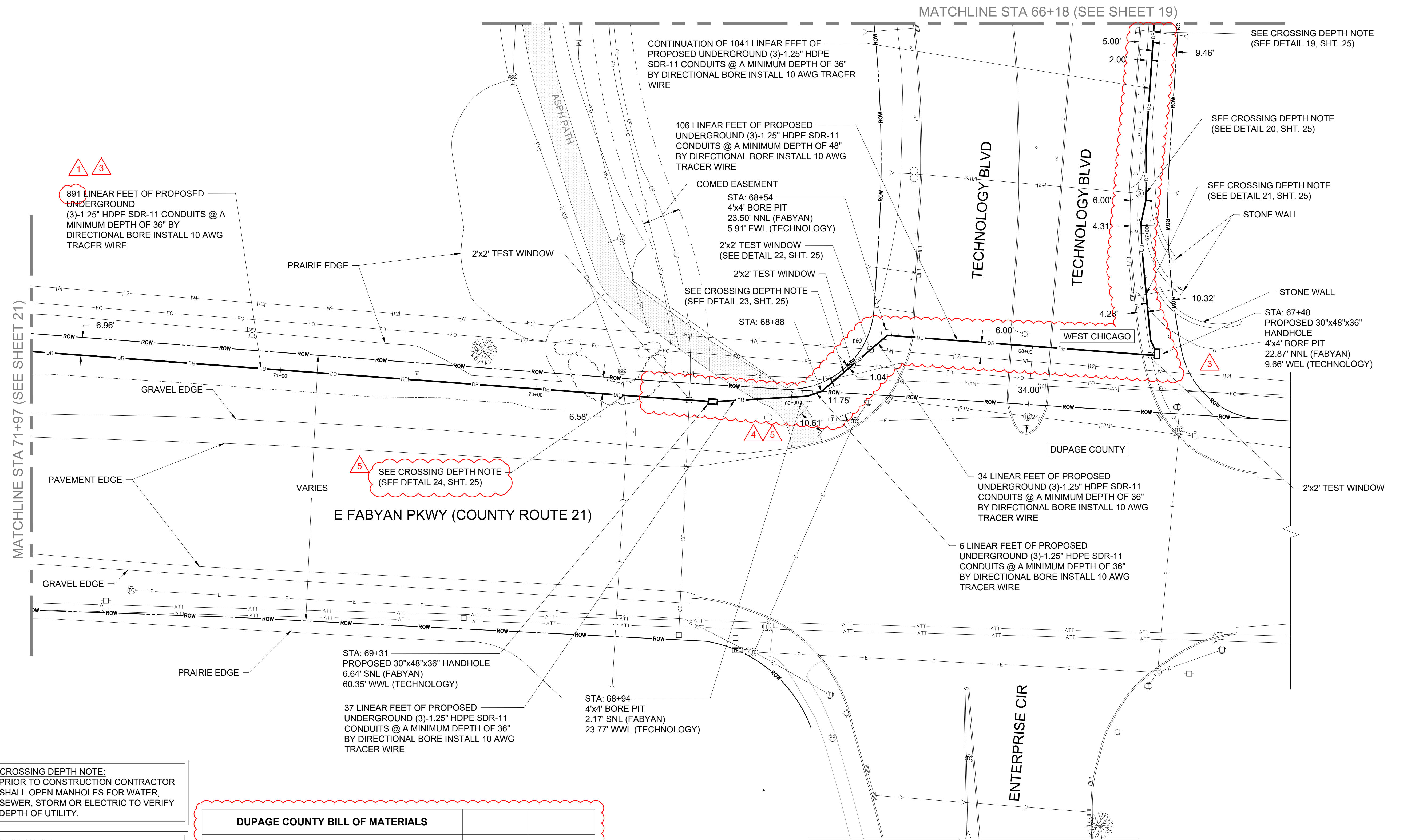
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REVISIONS

SHEET NUMBER
20
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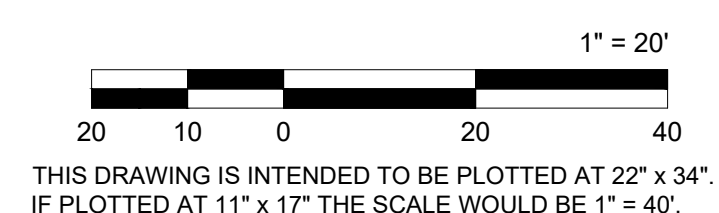
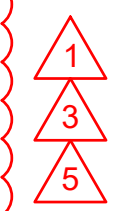


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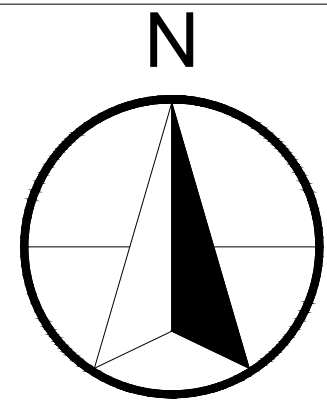
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DUPAGE COUNTY BILL OF MATERIALS			
DESCRIPTION	QUANTITY	UNIT	
(3)-1.25" HDPE SDR-11 CONDUITS	1617	LF	
10 AWG TRACER WIRE	1617	LF	
DIRECTIONAL BORE	1617	LF	
2' x 2' TEST WINDOW(S)	3	EA	
48" x 30" x 36" HANDHOLE	2	EA	



PLAN VIEW



DRAWING SCALE:
1" = 20'

ENGINEER:



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WEST CHICAGO, IL 60185

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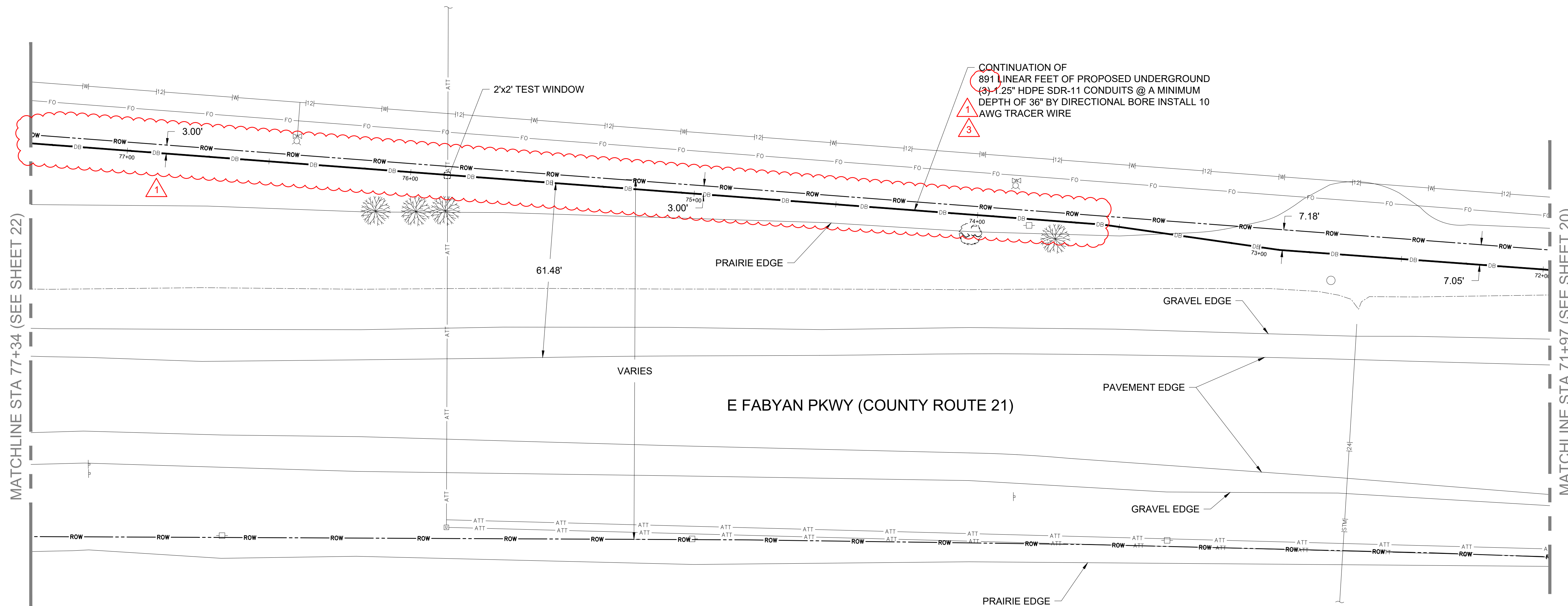
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	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

21

21 OF 27

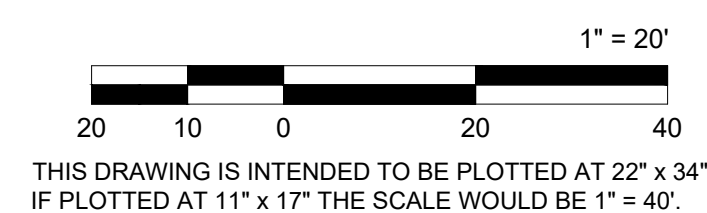


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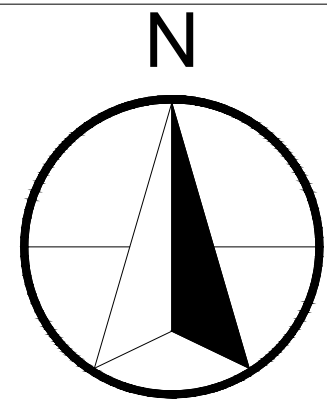
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48" x 30" x 36" HANDHOLE	2	EA	



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1" = 20'

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

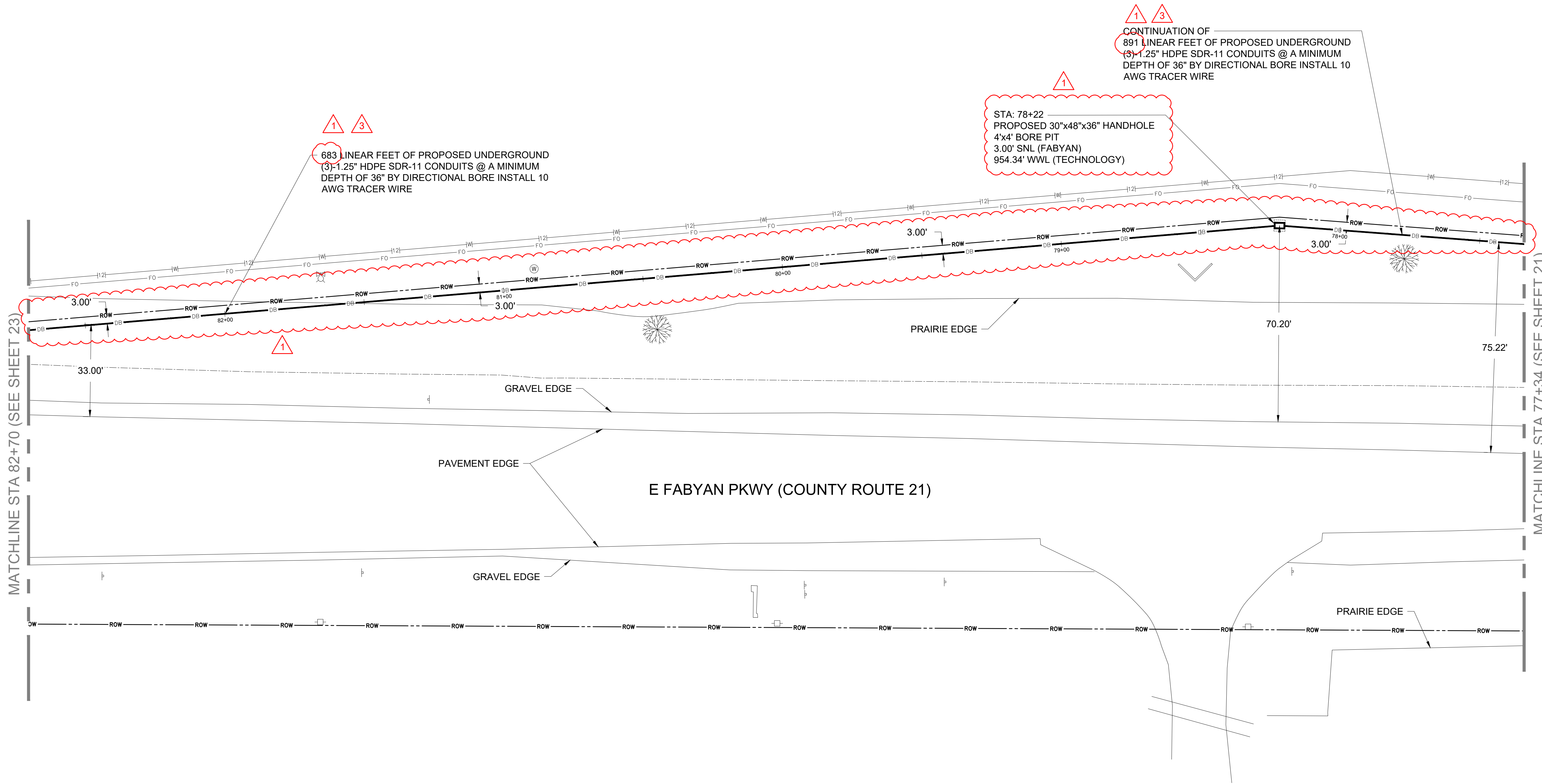
NO.	DATE	DESCRIPTION	BY
5	12/28/20	DUPAGE CNTY/CITY REV	SJP
4	11/19/20	DUPAGE COUNTY REV.	JCS
3	11/16/20	CITY REV.	JCS
2	10/12/20	KANE COUNTY REV.	JCS
1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

REVISIONS

SHEET NUMBER

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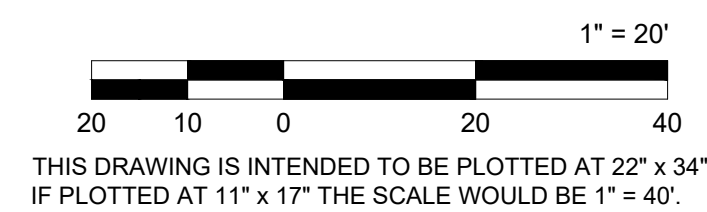


CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR
SHALL OPEN MANHOLES FOR WATER,
SEWER, STORM OR ELECTRIC TO VERIFY
DEPTH OF UTILITY.

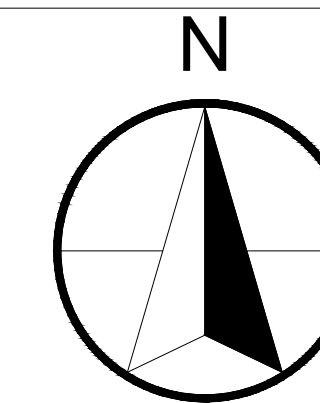
UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18"
OF A UTILITY LOCATE MARK SHALL BE
LOCATED BY HAND DIGGING PRIOR TO
START OF WORK.

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE RESTORED
TO PRE-EXISTING CONDITION OR BETTER.

DUPAGE COUNTY BILL OF MATERIALS			
DESCRIPTION	QUANTITY	UNIT	
(3)-1.25" HDPE SDR-11 CONDUITS	1617	LF	
10 AWG TRACER WIRE	1617	LF	
DIRECTIONAL BORE	1617	LF	
2' x 2' TEST WINDOW(S)	3	EA	
48" x 30" x 36" HANDHOLE	2	EA	



PLAN VIEW



DRAWING SCALE:
1" = 20'

ENGINEER:
CCSI
5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:
KANE COUNTY INFORMATION TECHNOLOGY
719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:
NTI NATIONAL TECHNOLOGIES
1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:
OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

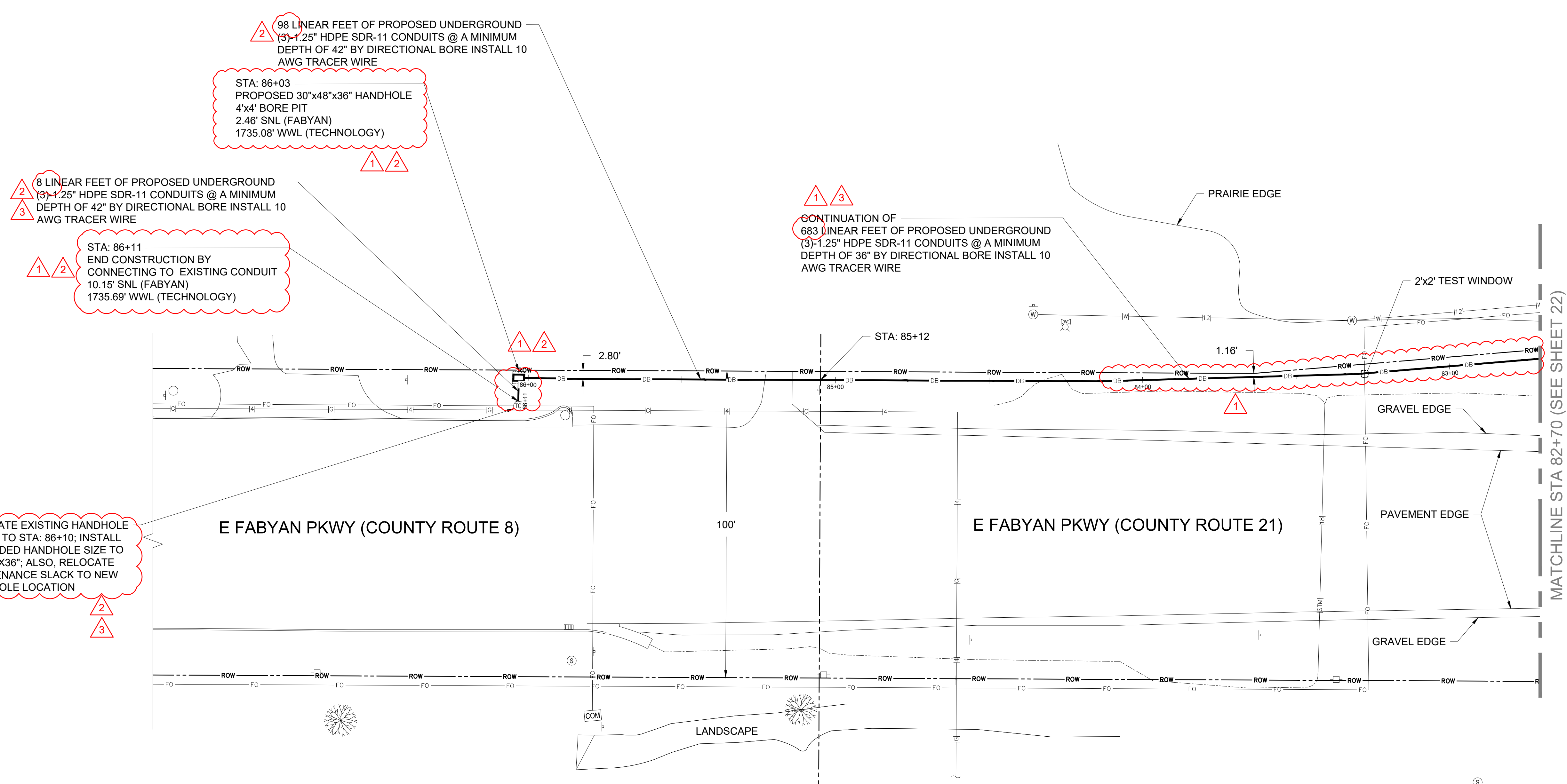
PROJECT NUMBER: 2026-003
DRAWN BY: SJP DATE DRAWN: 09/01/20

NO.	DATE	DESCRIPTION	BY
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2	10/12/20	KANE COUNTY REV.	JCS
1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP
NO.	DATE	DESCRIPTION	BY

REVISIONS
SHEET NUMBER

23

23 OF 27



RELOCATE EXISTING HANDHOLE NORTH TO STA: 86+10; INSTALL UPGRADED HANDHOLE SIZE TO 30"x48"x36"; ALSO, RELOCATE MAINTENANCE SLACK TO NEW HANDHOLE LOCATION

STA: 86+03
PROPOSED 30"x48"x36" HANDHOLE
4'x4' BORE PIT
2.46' SNL (FABYAN)
1735.08' WWL (TECHNOLOGY)

8 LINEAR FEET OF PROPOSED UNDERGROUND (3)-1.25" HDPE SDR-11 CONDUITS @ A MINIMUM DEPTH OF 42" BY DIRECTIONAL BORE INSTALL 10 AWG TRACER WIRE

STA: 86+11
END CONSTRUCTION BY CONNECTING TO EXISTING CONDUIT 10.15' SNL (FABYAN)
1735.69' WWL (TECHNOLOGY)

CONTINUATION OF 683 LINEAR FEET OF PROPOSED UNDERGROUND (3)-1.25" HDPE SDR-11 CONDUITS @ A MINIMUM DEPTH OF 36" BY DIRECTIONAL BORE INSTALL 10 AWG TRACER WIRE

CONTRACTOR NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES.

CROSSING DEPTH NOTE:
PRIOR TO CONSTRUCTION CONTRACTOR SHALL OPEN MANHOLES FOR WATER, SEWER, STORM OR ELECTRIC TO VERIFY DEPTH OF UTILITY.

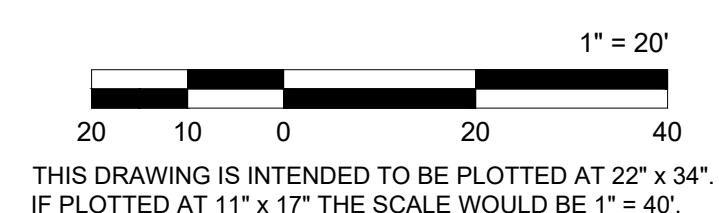
UTILITY NOTE:
ALL EXCAVATIONS/BORE PITS WITHIN 18" OF A UTILITY LOCATE MARK SHALL BE LOCATED BY HAND DIGGING PRIOR TO START OF WORK.

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.

KANE COUNTY NOTES:

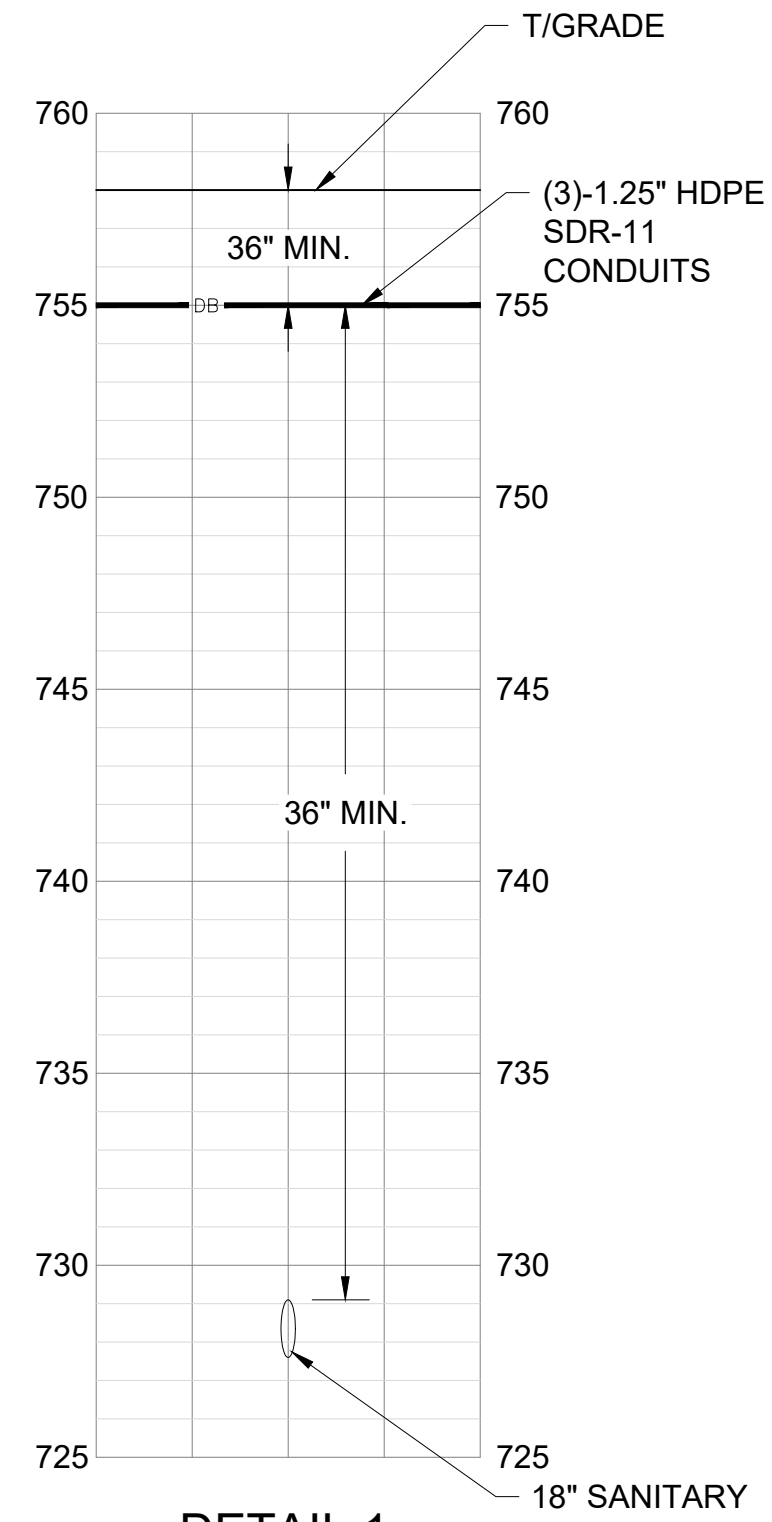
1. NO OPEN CUT SHALL BE PERMITTED OF ANY COUNTY HIGHWAY OR OTHER PAVED SURFACE WITHIN THE RIGHT-OF-WAY OF ANY COUNTY HIGHWAY WITHOUT THE PRIOR WRITTEN PERMISSION FROM THE KANE COUNTY ENGINEER.
2. ALL UNDERGROUND CABLE INSTALLATIONS (TELECOMMUNICATIONS AND ELECTRIC) SHALL HAVE A MINIMUM OF 42 INCHES OF COVER.
3. ALL OF THE PERMITTEE'S AGENTS AND WORKERS AND THOSE OF THE PERMITTEE'S AGENTS SHALL WHEN WITHIN AND ON THE RIGHT-OF-WAY OF A COUNTY HIGHWAY BE REQUIRED TO, AND SHALL WEAR HIGH-VISIBILITY SAFETY APPAREL (ANSI CLASS 2 OR 3) PER FHWA 23 CFR PART 634.
4. BEFORE YOU DIG-CALL JULIE 811!

DUPAGE COUNTY BILL OF MATERIALS		
DESCRIPTION	QUANTITY	UNIT
(3)-1.25" HDPE SDR-11 CONDUITS	1617	LF
10 AWG TRACER WIRE	1617	LF
DIRECTIONAL BORE	1617	LF
2' x 2' TEST WINDOW(S)	3	EA
48" x 30" x 36" HANDHOLE	2	EA

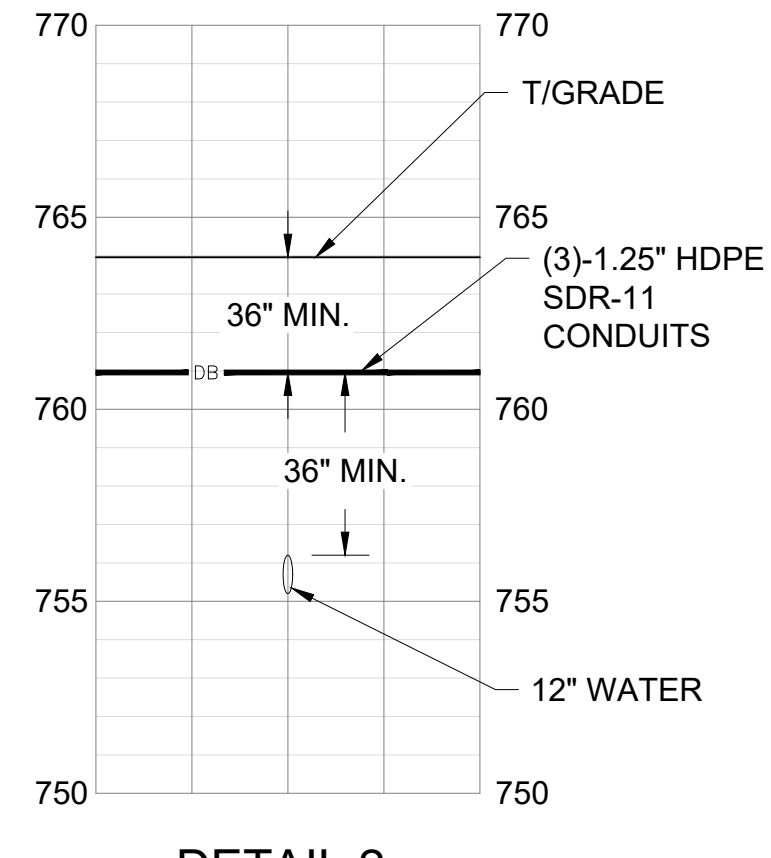


CROSS SECTIONS

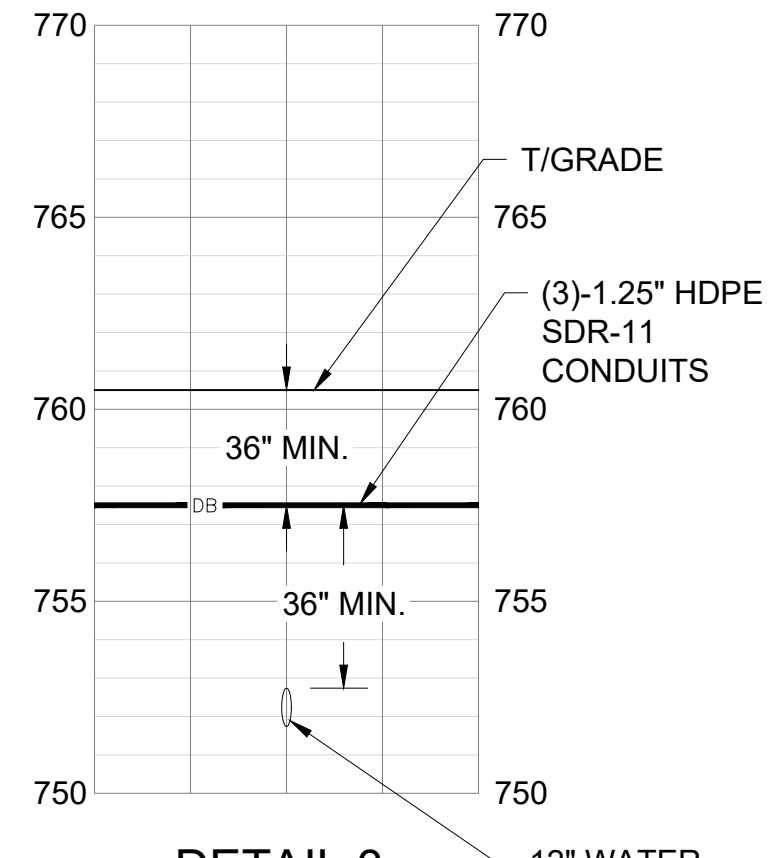
3/5



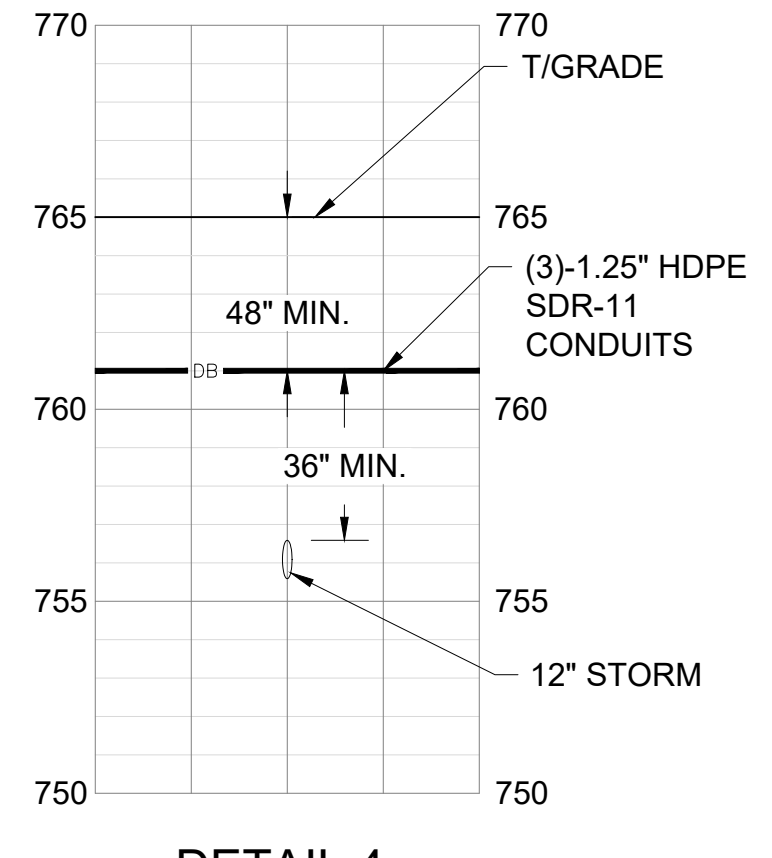
DETAIL 1
STA: 0+11
SHEET 7



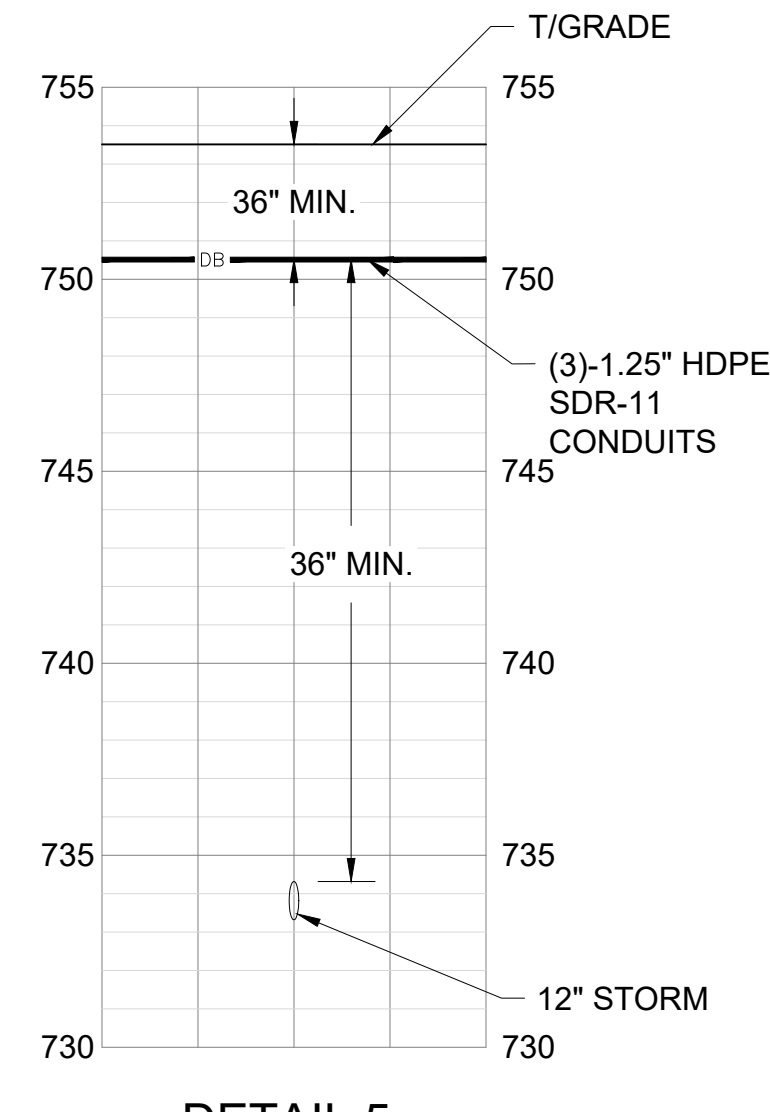
DETAIL 2
STA: 14+14
SHEET 9



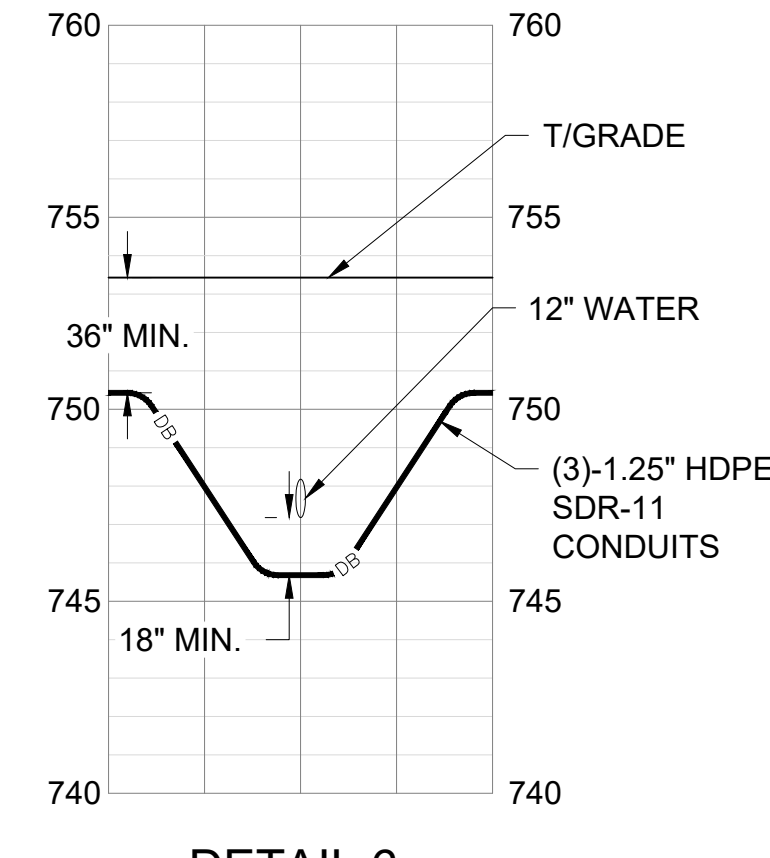
DETAIL 3
STA: 15+56
SHEET 9



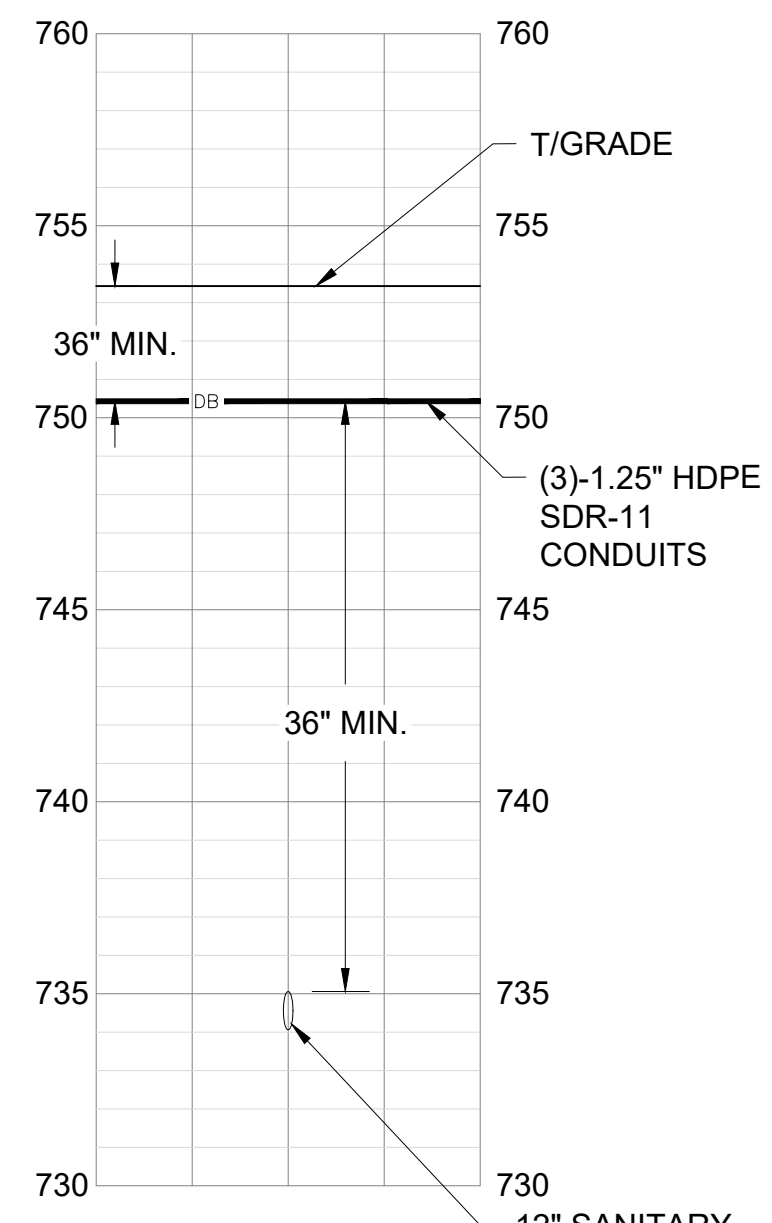
DETAIL 4
STA: 16+60
SHEET 9



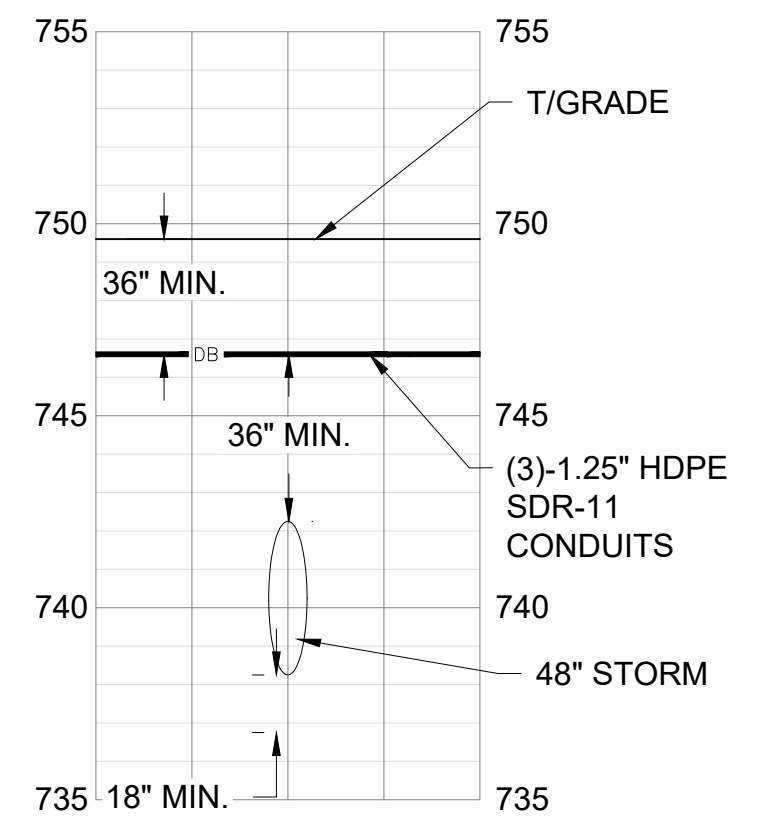
DETAIL 5
STA: 23+28
SHEET 11



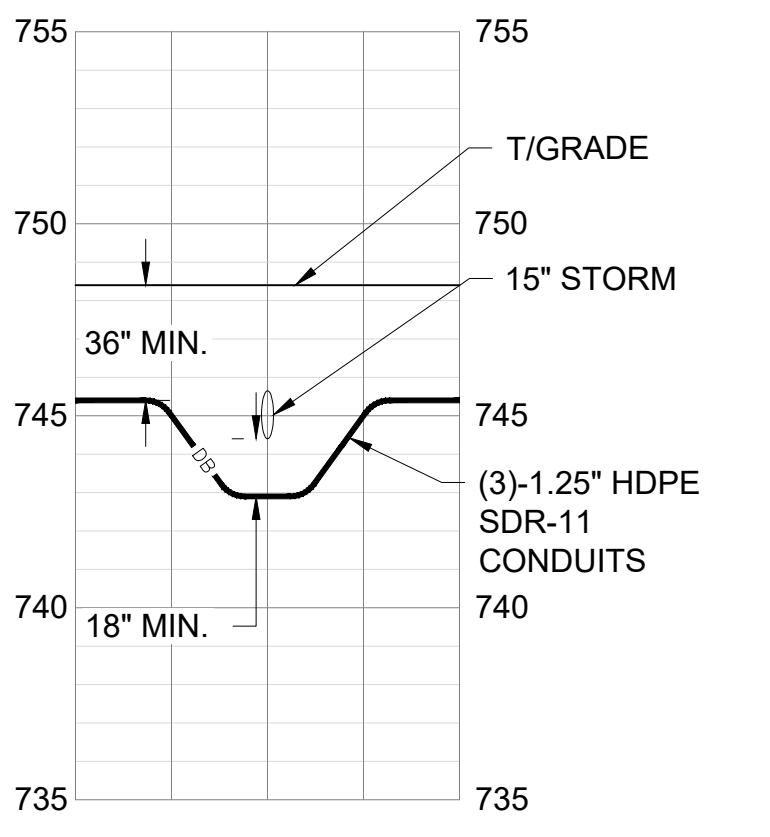
DETAIL 6
STA: 0+66A
SHEET 12



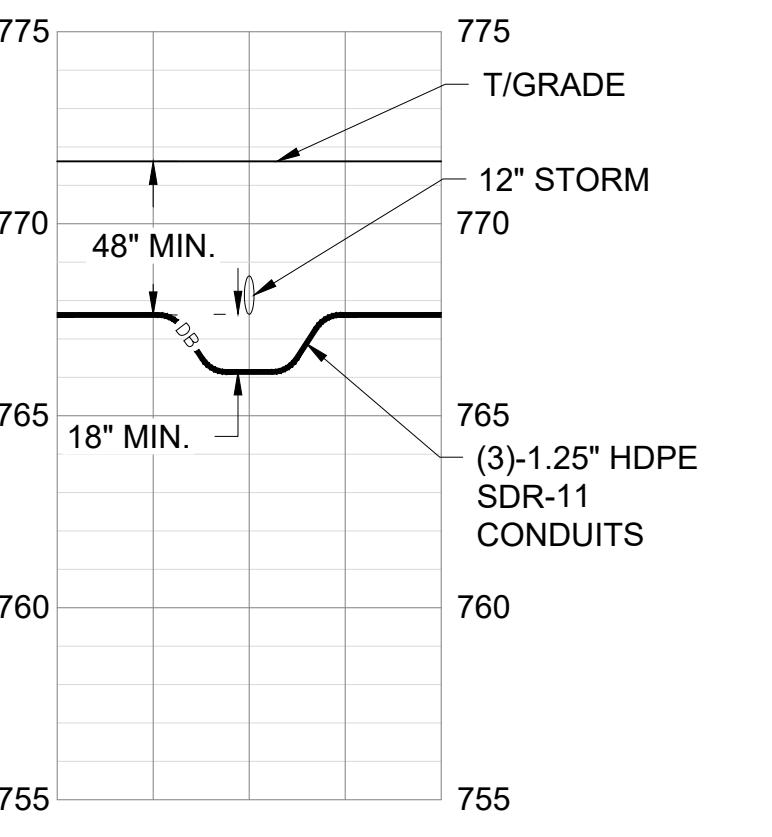
DETAIL 7
STA: 0+78A
SHEET 12



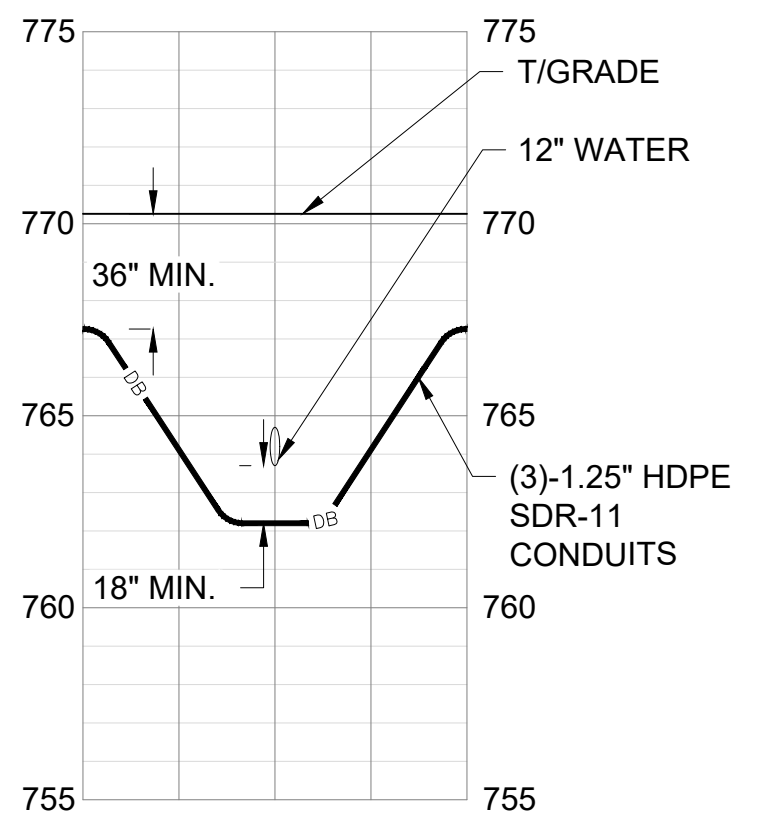
DETAIL 8
STA: 1+53A
SHEET 11



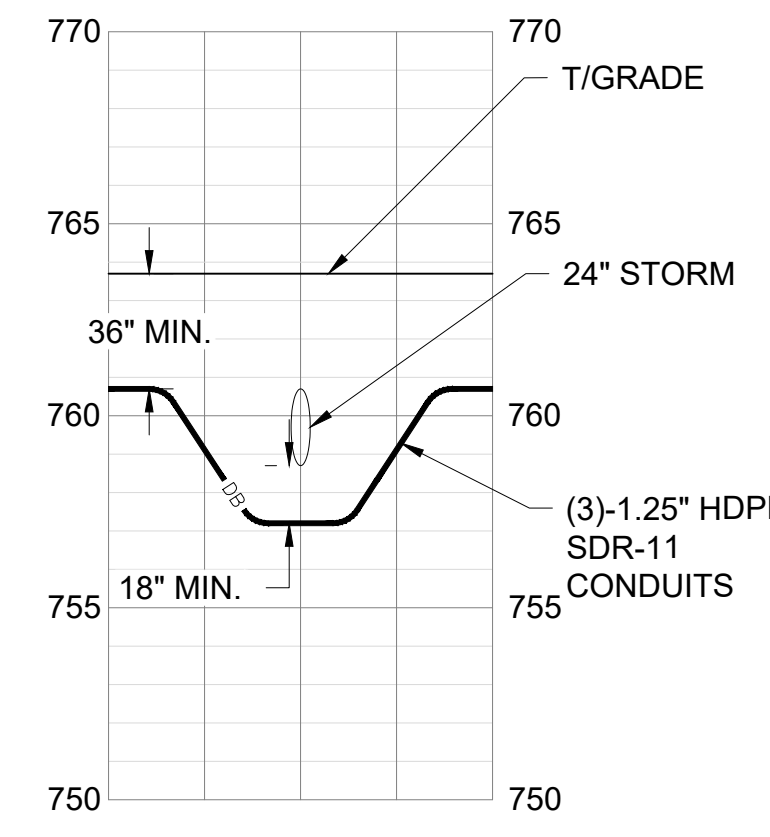
DETAIL 9
STA: 2+36A
SHEET 11



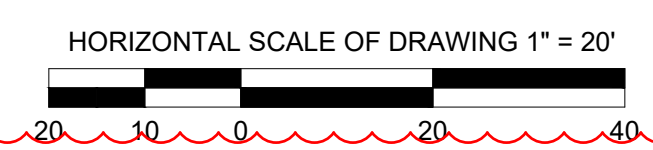
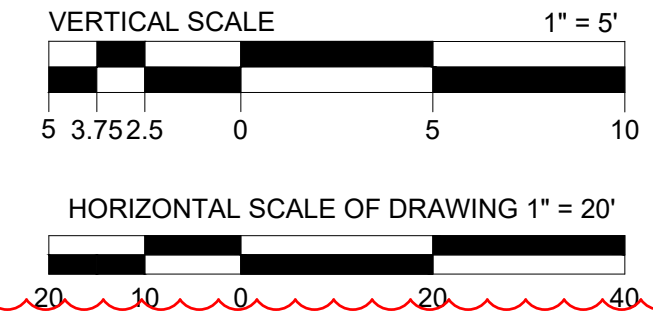
DETAIL 10
STA: 54+73
SHEET 18



DETAIL 11
STA: 54+80
SHEET 18



DETAIL 12
STA: 59+92
SHEET 18



DRAWING SCALE:
AS NOTED

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:



1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

DRAWN BY: SJP DATE DRAWN: 09/01/20

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	09/17/20	PERMIT	SJP

REVISIONS

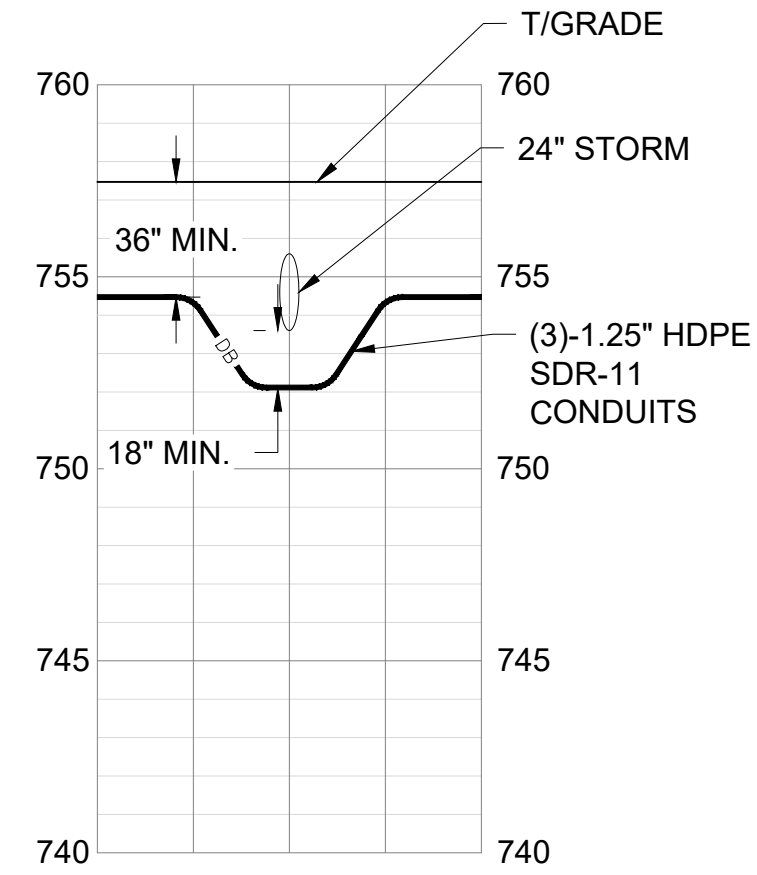
SHEET NUMBER

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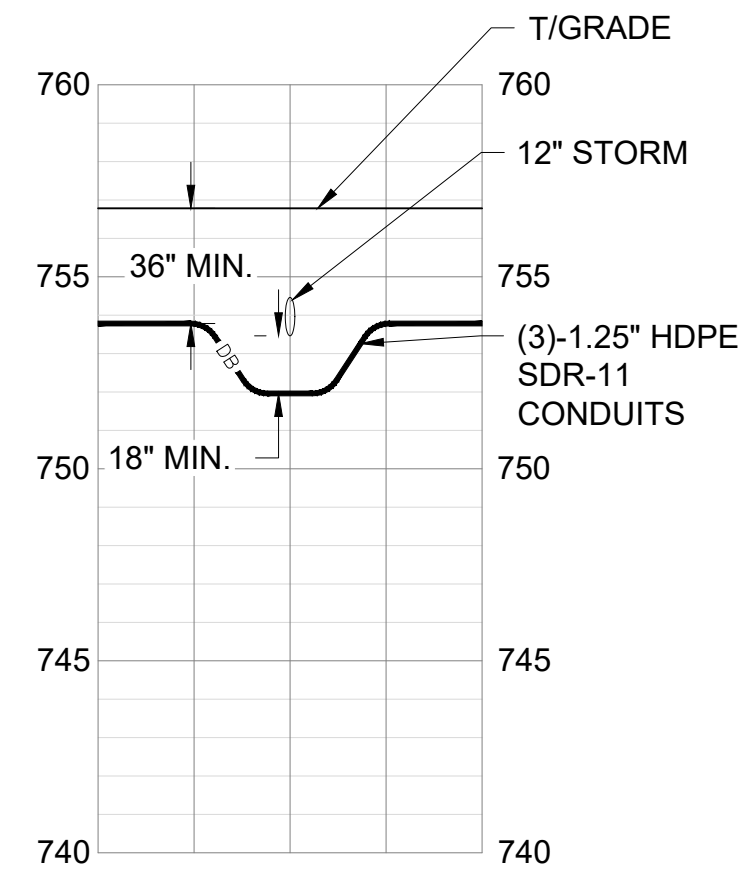
24 OF 27

CROSS SECTIONS

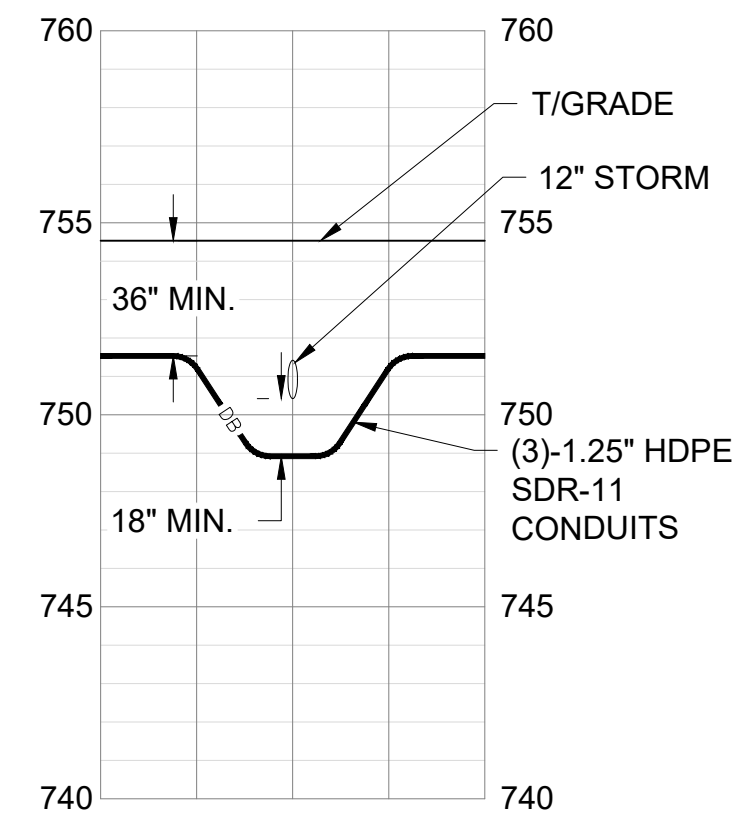
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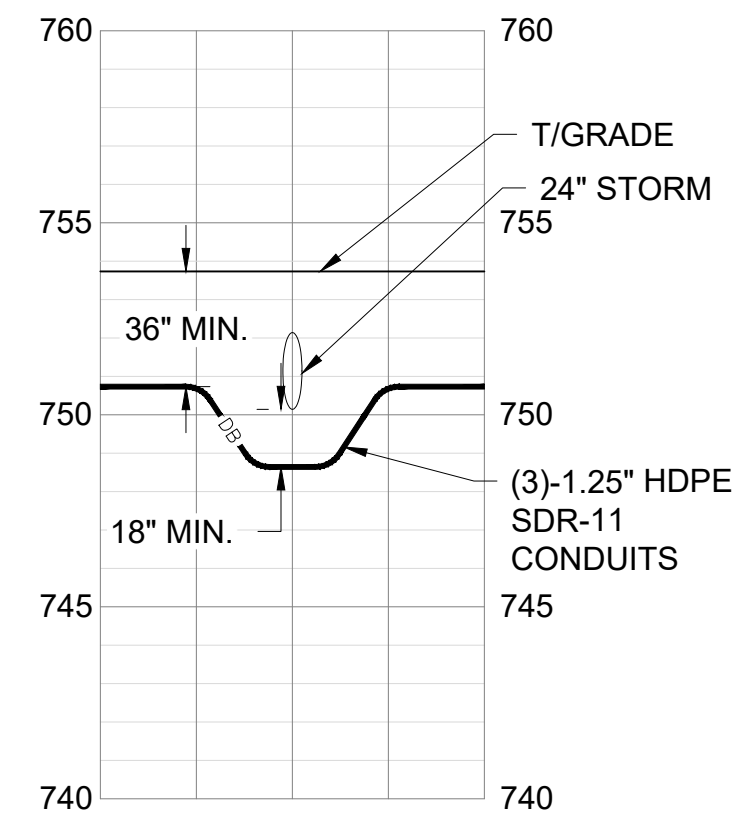
DETAIL 13
STA: 62+17
SHEET 19



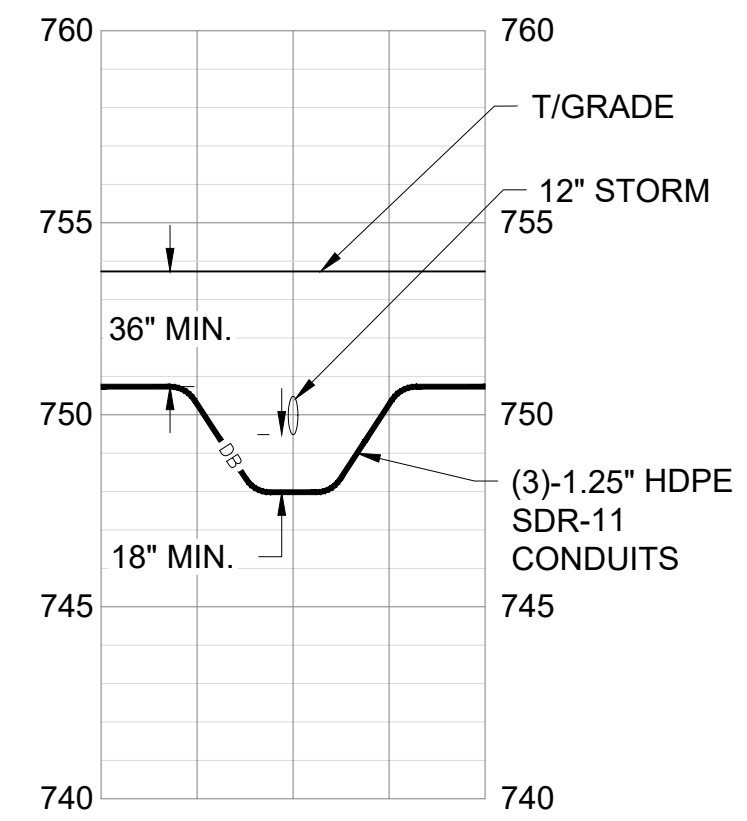
DETAIL 14
STA: 62+57
SHEET 19



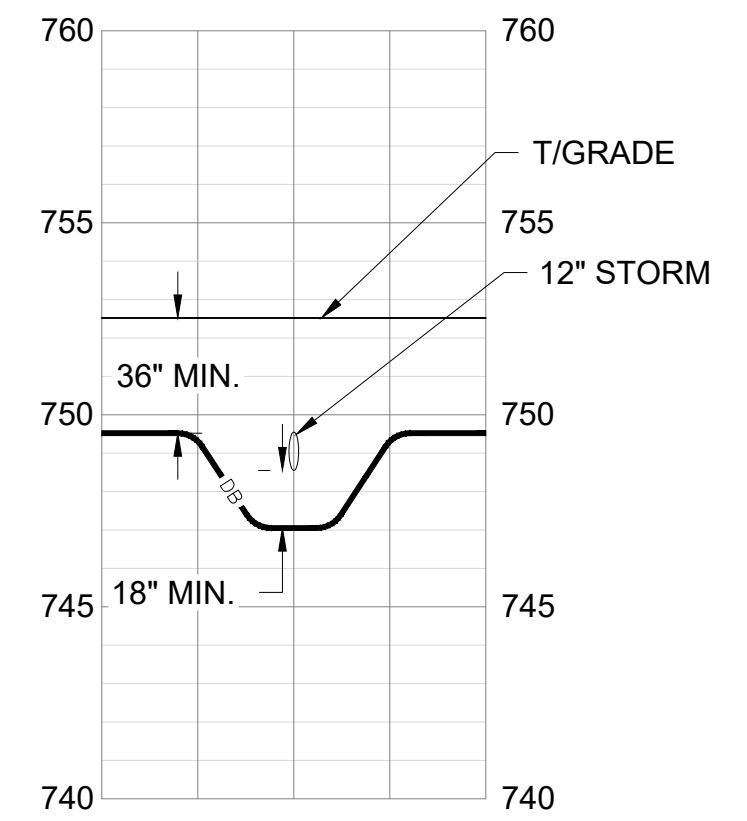
DETAIL 15
STA: 63+61
SHEET 19



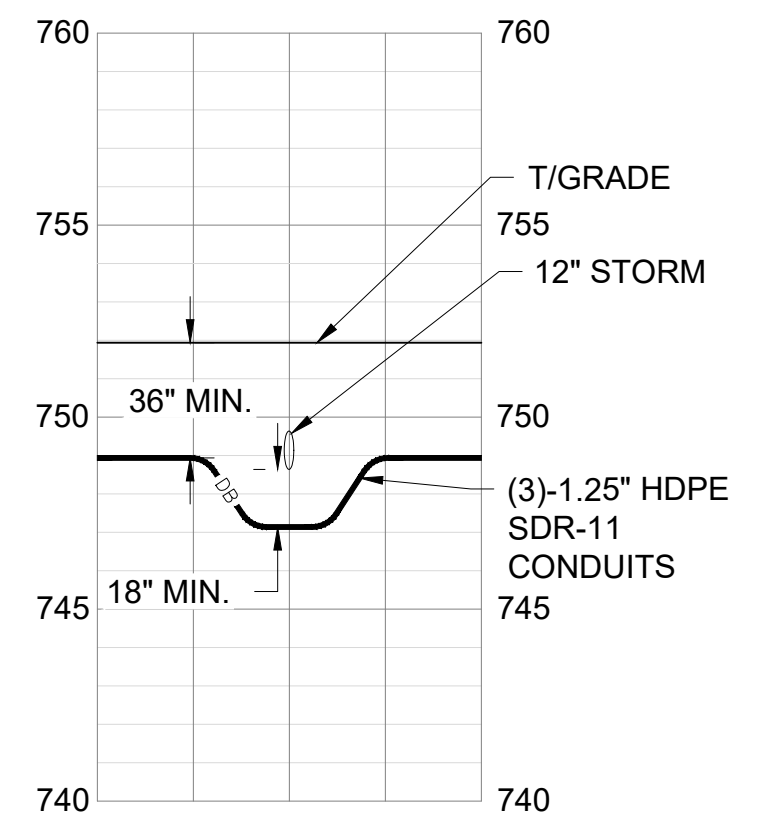
DETAIL 16
STA: 63+98
SHEET 19



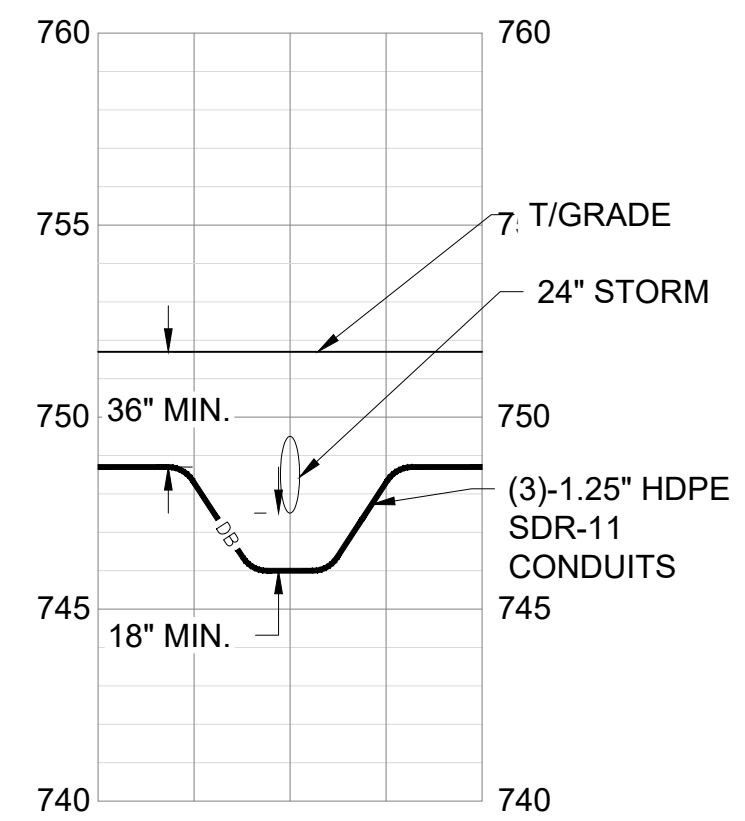
DETAIL 17
STA: 64+11
SHEET 19



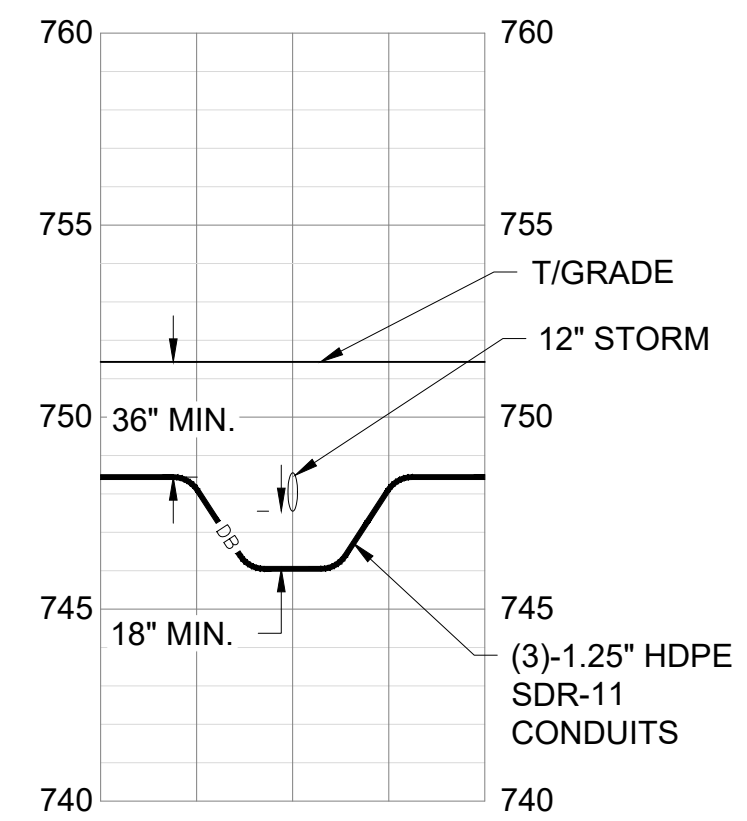
DETAIL 18
STA: 65+17
SHEET 19



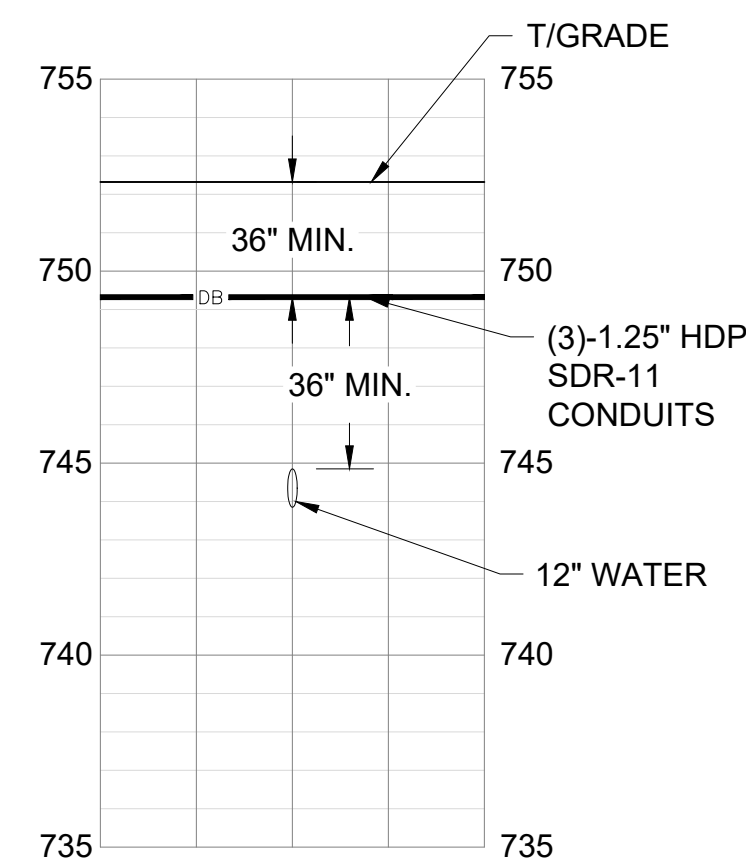
DETAIL 19
STA: 66+21
SHEET 20



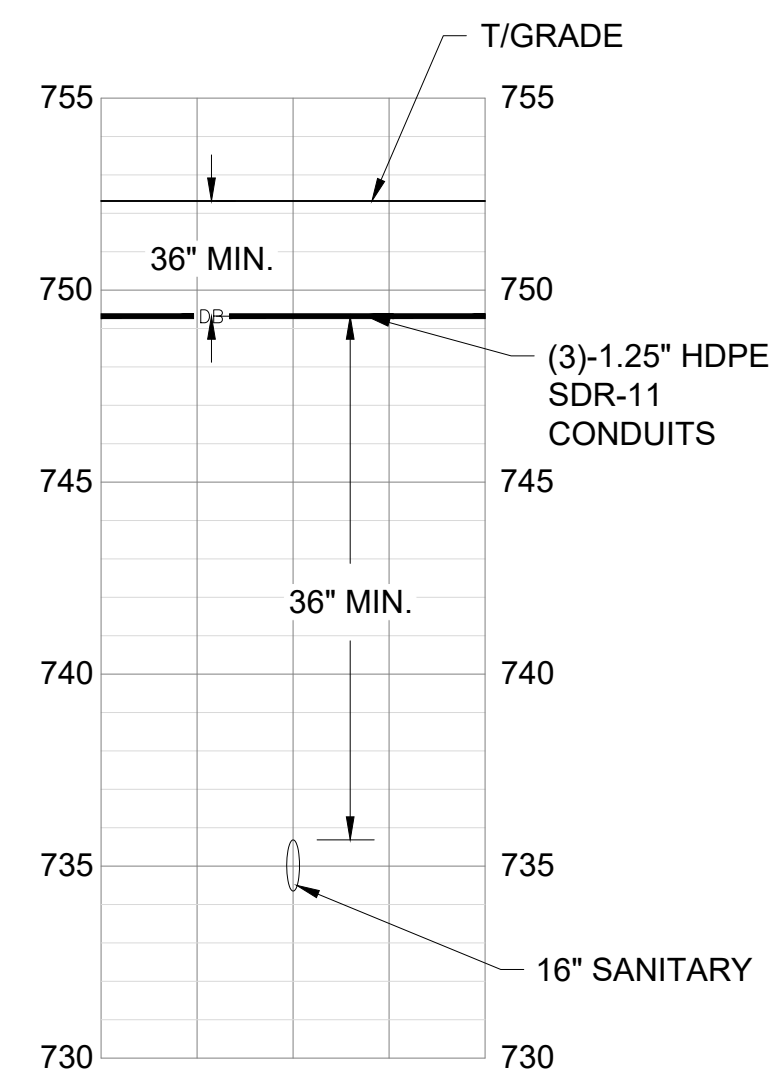
DETAIL 20
STA: 66+84
SHEET 20



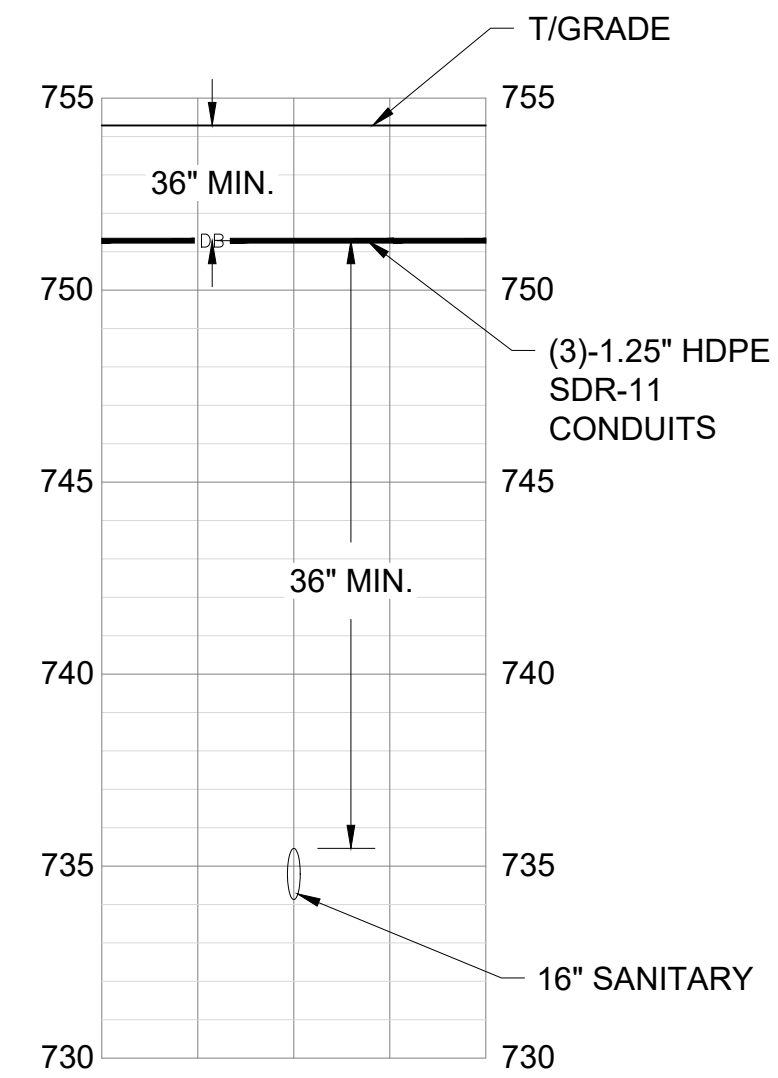
DETAIL 21
STA: 67+24
SHEET 20



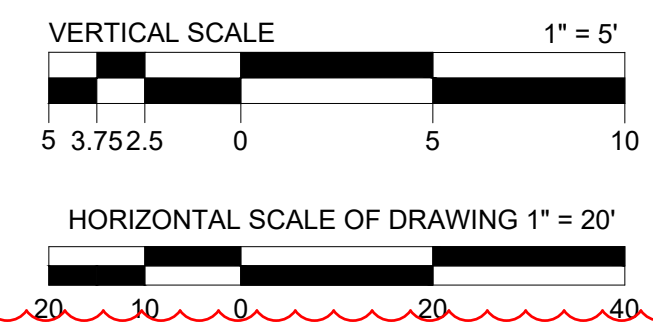
DETAIL 22
STA: 68+63
SHEET 20



DETAIL 23
STA: 68+80
SHEET 20



DETAIL 24
STA: 69+65
SHEET 20



DRAWING SCALE:
AS NOTED

ENGINEER:



5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:



719 S. BATAVIA AVE.
GENEVA, IL 60134
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CONTRACTOR:



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OFFICE: 630.851.7751

TITLE:

OUTSIDE PLANT FIBER
OPTIC BUILD

603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003

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	09/17/20	PERMIT	SJP

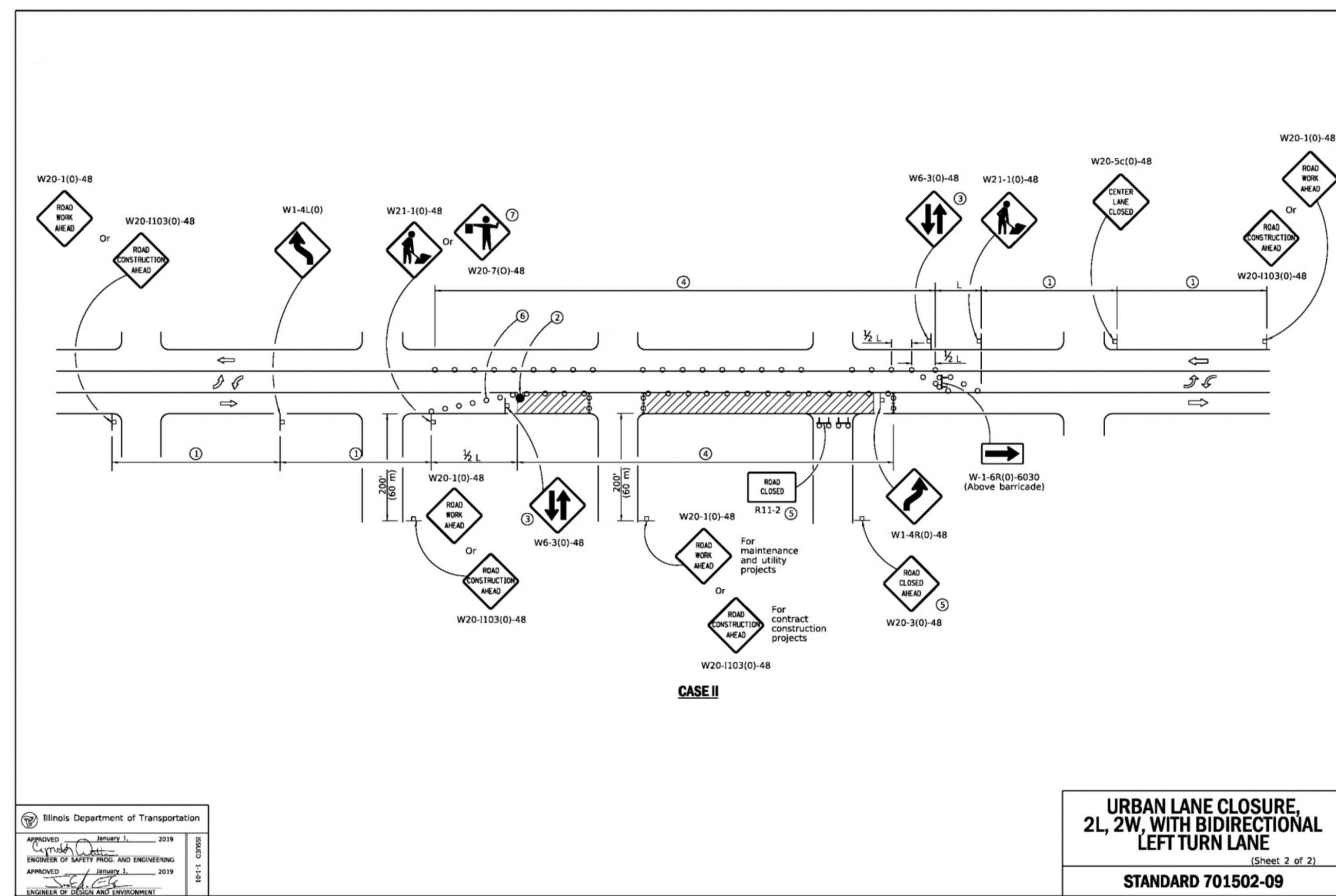
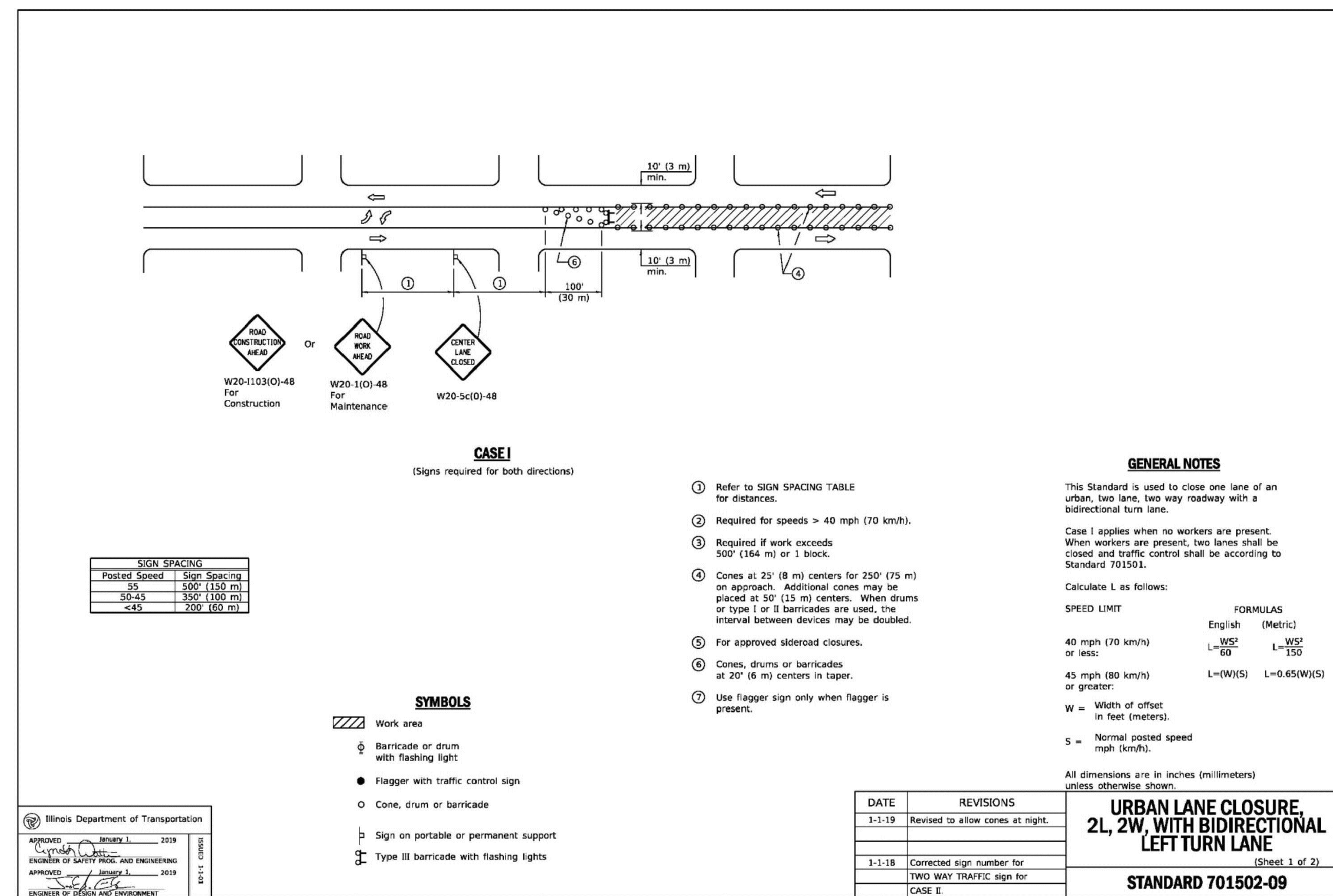
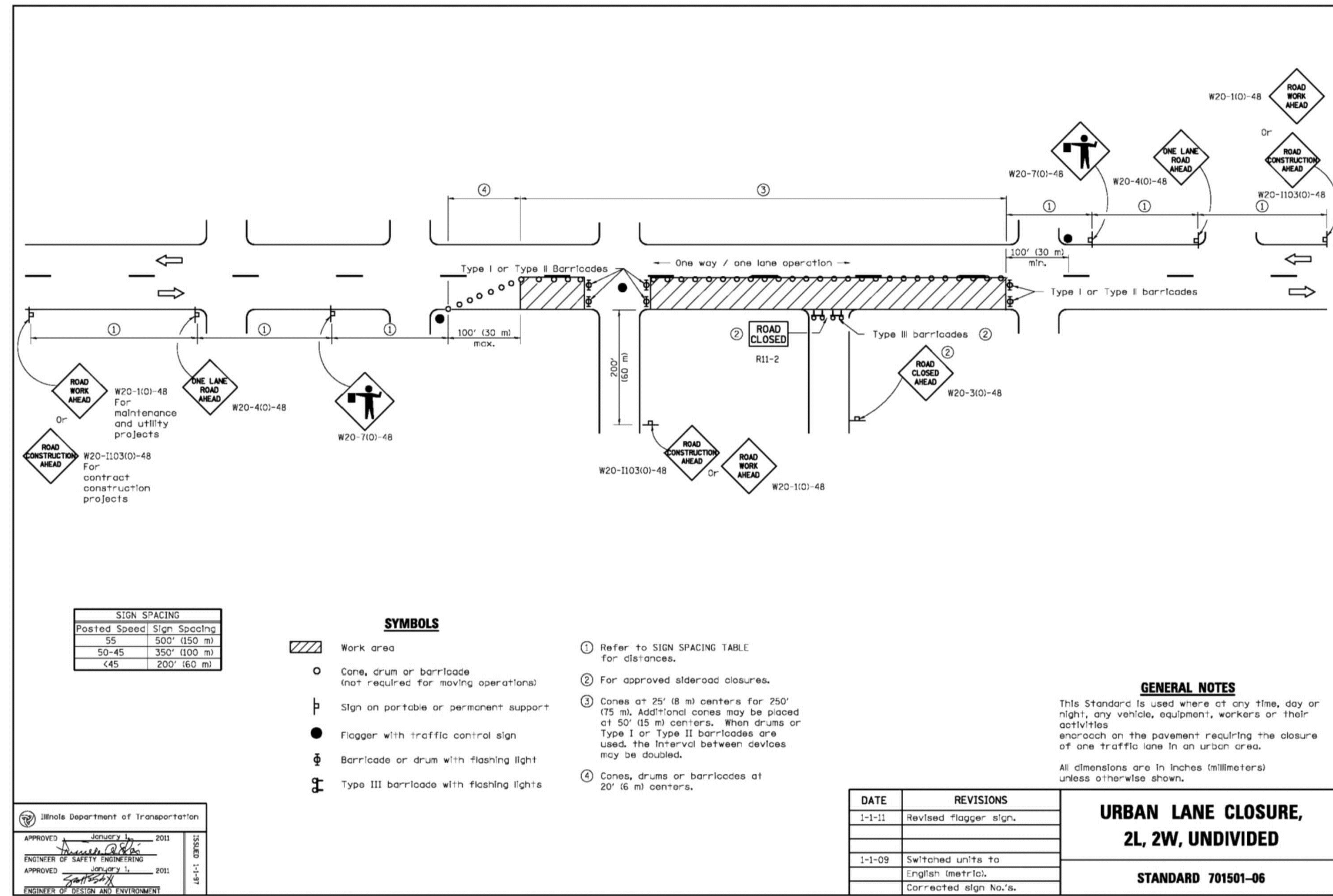
REVISIONS

SHEET NUMBER

25

25 OF 27

TRAFFIC CONTROL PLAN - TYPICAL



CONTRACTOR NOTE:
ANY LANE CLOSURES IN KANE COUNTY WILL BE LIMITED TO MONDAY-FRIDAY, 9AM - 3PM.

DRAWING SCALE: N.T.S.

ENGINEER:
CCSI
5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:
KANE COUNTY INFORMATION TECHNOLOGY
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603 DISCOVERY DR
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REVISIONS

SHEET NUMBER

26

26 OF 27

TRAFFIC CONTROL PLAN - TYPICAL

TRAFFIC CONTROL DEVICES
(Sheet 1 of 3)
STANDARD 701901-08

DATE	REVISIONS
1-1-19	Revised cone usage and added cones >36" (900 mm) height.
1-1-18	Revised END WORK ZONE SPEED LIMIT sign from orange to white background.

GENERAL NOTES
All heights shown shall be measured above the pavement surface.
All dimensions are in inches (millimeters) unless otherwise shown.

TRAFFIC CONTROL DEVICES
(Sheet 2 of 3)
STANDARD 701901-08

DATE	REVISIONS
1-1-19	Revised cone usage and added cones >36" (900 mm) height.
1-1-18	Revised END WORK ZONE SPEED LIMIT sign from orange to white background.

TRAFFIC CONTROL DEVICES
(Sheet 3 of 3)
STANDARD 701901-08

CONTRACTOR NOTE:
ANY LANE CLOSURES IN KANE COUNTY WILL BE LIMITED TO MONDAY-FRIDAY, 9AM - 3PM.

DRAWING SCALE:
N.T.S.

ENGINEER:
CCSI
5101 THATCHER DR.
DOWNERS GROVE, IL 60515
OFFICE 630.572.9999
FAX 630.572.9998

OWNER:
KANE COUNTY INFORMATION TECHNOLOGY
719 S. BATAVIA AVE.
GENEVA, IL 60134
OFFICE: 630.208.8655
FAX: 630.208.8659

CONTRACTOR:
NTI NATIONAL TECHNOLOGIES
1350 W WASHINGTON ST
WEST CHICAGO, IL 60185
OFFICE: 630.851.7751

TITLE:
OUTSIDE PLANT FIBER OPTIC BUILD
603 DISCOVERY DR
WEST CHICAGO, IL 60185

PROJECT NUMBER: 2026-003
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1	10/12/20	DUPAGE COUNTY REV.	JCS
	09/17/20	PERMIT	SJP

SHEET NUMBER
27
27 OF 27

**Exhibit "C" to
CITY OF WEST CHICAGO/COUNTY OF KANE LICENSE AGREEMENT**

- County of Kane Certificate of Liability Insurance and Endorsements.

See attached



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/23/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Presidio 55 Shuman Blvd Naperville IL 60563	CONTACT NAME: Jara Reed PHONE (A/C, No, Ext): 630-513-6600 E-MAIL ADDRESS: jreed@presidiogrp.com		FAX (A/C, No): 630-513-6399
	INSURER(S) AFFORDING COVERAGE		
INSURED County of Kane 719 Batavia Avenue Bldg A Geneva IL 60134	INSURER A : Argonaut Insurance Company		NAIC # 19801
	INSURER B : Safety National Casualty Corporation		15105
	INSURER C : Illinois Union Insurance Company		27960
	INSURER D : Hallmark Insurance Company		34037
	INSURER E : Gemini Insurance Company		10833
	INSURER F :		

COVERAGES

CERTIFICATE NUMBER: 1575207892

REVISION NUMBER:


THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Retention \$750k GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		2902111-02	12/1/2020	12/1/2021	EACH OCCURRENCE \$ 5,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ included MED EXP (Any one person) \$ included PERSONAL & ADV INJURY \$ 5,000,000 GENERAL AGGREGATE \$ 5,000,000 PRODUCTS - COMP/OP AGG \$ 5,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			2902111-02	12/1/2020	12/1/2021	COMBINED SINGLE LIMIT (Ea accident) \$ 5,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C D E	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$			PEP G71763675 002 77PEF1900B5 XPE0000201-00	12/1/2020 12/1/2020 12/1/2020	12/1/2021 12/1/2021 12/1/2021	EACH OCCURRENCE \$ AGGREGATE \$ 20,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	SP4064048	12/1/2020	12/1/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

City of West Chicago is listed as additional insured on a primary and non-contributory basis with respect to General Liability when required by written contract or agreement. Cancellation notice will be issued in accordance with policy provisions.

CERTIFICATE HOLDER**CANCELLATION**

City of West Chicago an Illinois municipal corporation 475 Main Street West Chicago IL 60185	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

Resolution No.

Authorizing Easement Agreement with SBA Edge, LLC

Committee Flow: Administration Committee, Finance and Budget Committee, Executive Committee, County Board

Contact: Roger Fahnestock, 630.232.3571

Budget Information:

Was this item budgeted? Yes	Appropriation Amount: \$30,000
If not budgeted, explain funding source: N/A	

Summary:

Kane County will purchase an easement from SBA EDGE, LLC for the future construction and installation of conduit, vaults and fiber optic cable related to the expansion of fiber services at the data center owned and operated by SBA EDGE, LLC.

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

AUTHORIZING EASEMENT AGREEMENT WITH SBA EDGE, LLC

WHEREAS, Kane County maintains fiber optic network cable for the purposes of communications and data services; and

WHEREAS, Kane County desires to partner with SBA EDGE, LLC for the construction of future cable on SBA EDGE, LLC property for the purposes of installing conduit, vaults, and fiber optic cable for the expansion of fiber services at the data center owned and operated by SBA EDGE, LLC.; and

WHEREAS, SBA EDGE, LLC. and Kane County have negotiated an easement agreement to authorize and record the granted access for Kane County’s installation of conduit, vaults, and fiber optic cable in consideration of an amount not to exceed thirty-thousand dollars (\$30,000) for the total cost of the easement agreement, as set forth in the attached Exhibit A.

NOW, THEREFORE, BE IT RESOLVED that the Kane County Board Chairman and Information Technologies Department are authorized to enter into an easement agreement with and authorize payment to SBA EDGE, LLC. for an amount not to exceed thirty-thousand dollars (\$30,000) for the total cost of the easement agreement from Fund 125.800.810.70060 Communications Equipment.

Line Item	Line Item Description	Was Personnel/Item/Service approved in original budget or a subsequent budget revision?	Are funds currently available for this Personnel/Item/Service in the specific line item?	If funds are not currently available in the specified line item, where are the funds available?
125.800.810.70060	Communications Equipment	Yes	Yes	N/A

Passed by the Kane County Board on May 11, 2021.

John A. Cunningham
Clerk, County Board
Kane County, Illinois

Corinne M. Pierog MA, MBA
Chairman, County Board
Kane County, Illinois

Vote:

21-05 Fiber Easement

Space Above Line for Recorder's Use

Resolution Exhibit A

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (this "Agreement"), in consideration of \$1.00 and other valuable consideration the receipt and sufficiency of which is hereby acknowledged, is made and entered into this ____ day of _____ 2021, by and between SBA EDGE, LLC, a Florida limited liability company ("Grantor") and THE COUNTY OF KANE, Illinois ("Grantee").

RECITALS

WHEREAS, Grantor is the owner of a certain parcel of land legally described in Exhibit A attached hereto (the "Grantor Parcel") upon which Grantor owns and operates a data center (the "Data Center").

WHEREAS, Grantee is a client in the Data Center pursuant to that certain Master Service Agreement dated _____ entered into by and between Grantor and Grantee and as modified by various Sales Orders (the "MSA").

WHEREAS, Grantor desires to grant to Grantee, and Grantee desires to obtain from Grantor, a non-exclusive underground utility easement over, under, across and through a portion of that certain parcel of land located within the Grantor Parcel and legally described and depicted in Exhibit B, as labeled, the "Telecommunications Easement," attached hereto (the "Easement Parcel"), for the purpose of constructing, installing, operating, maintaining, repairing, replacing, and upgrading certain underground fiber-optic or similar underground cables and related underground improvements and underground equipment (the "Fiber-Optic Lines") through the Easement Parcel to provide underground transmission and distribution of communication and information services to Grantee's equipment in the Data Center, together with a right of access to and from the Easement Parcel.

WHEREAS, Grantor desires to grant to Grantee, and Grantee desires to obtain from Grantor, a non-exclusive temporary construction easement over, under, across and through the

Easement Parcel and that certain parcel of land located within the Grantor Parcel described in Section 1 (b) below, for the purpose of surveying, operating equipment, and moving and staging equipment and materials, in connection with the Fiber-Optic Lines to be installed within the Easement Parcel.

NOW, THEREFORE, in consideration of the mutual covenants in this Agreement, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee hereby agree as follows:

1. Grant of Easements. Subject to the terms of this Agreement and to all liens and encumbrances of record as of the date of this Agreement, Grantor hereby grants and conveys to Grantee, its successors and assigns, for the purposes set forth in this Agreement, the following:
 - (a) A non-exclusive utility easement for Grantee and its employees, contractors, subcontractors, and agents (collectively, the “Grantee Designees”) to use the Easement Parcel for constructing, installing, operating, maintaining, repairing, replacing, and upgrading the underground Fiber-Optic Lines through the Easement Parcel to provide underground transmission and underground distribution of communication and information services to the Data Center, together with the right to (i) enter such portion of the Easement Parcel as may be reasonably necessary to construct, install, operate, maintain, repair, replace, or upgrade the underground Fiber-Optic Lines, and exercise the rights and perform the obligations of Grantee under this Agreement; (ii) enter such portions of the Grantor Parcel, which are adjacent to and contiguous with the Easement Parcel (the “Grantor Adjacent Property”) and reasonably necessary for obtaining access to the Easement parcel and exercising the rights and performing the obligations of Grantee under this Agreement; and (iii) enter such portions of Grantor Adjacent Property, reasonably necessary to control or remove any tree roots or other obstructions (but only with the prior written consent of Grantor) which interfere with, the underground Fiber-Optic Lines or Grantee’s use and enjoyment of the Easement parcel as set forth in this Agreement, or which might reasonably cause injury to Grantee, its employees, contractors, subcontractors or agents in the exercise of its rights or performance of its obligations under this Agreement. The utility easement described in this Section 1(a) of this Agreement shall be for a term that is coterminous with the term of the MSA as extended by any amendments or Sales Orders.
 - (b) A non-exclusive, 30’ wide temporary construction easement within the Grantor Adjacent Property and legally described and depicted in Exhibit B, as labeled, the “Temporary Construction Easement,” attached hereto (the “Temporary Easement Parcel”) for Grantee and Grantee Designees to use the Easement Parcel and the Temporary Easement Parcel for surveying, removing landscaping (but only with the prior written consent of Grantor), operating equipment, and moving and temporarily staging equipment and materials while work is in progress, in connection with the underground Fiber-Optic Lines to be installed through the

Easement Parcel, which said temporary construction easement shall automatically terminate upon the occurrence of the following, whichever occurs first: (i) the filing for record in the Office of the Du Page County Recorder of Deeds, a written notice by Grantee acknowledging completion of the initial installation of the Fiber-Optic Lines and a written request from Grantor; or (ii) the passage of (18) months following the date of this Agreement.

2. Reservation of Rights by Grantor. Subject to the terms of this Agreement, Grantor hereby reserves all rights with respect to the Easement Parcel and the Temporary Easement Parcel, so long as the exercise by Grantor of such rights does not unreasonably interfere with Grantee's use and enjoyment of the Easement Parcel or the Temporary Easement Parcel as set forth in this Agreement.
3. Covenants of Grantor. Grantor covenants and agrees that Grantor shall not (a) construct, erect, maintain or permit any building, structure, installation or facility, paving or other improvement on or over the Easement Parcel or portion thereof that would unreasonably interfere with Grantee's use and enjoyment of the Easement Parcel or the Temporary Easement Parcel; or (b) change or cause to be changed by excavation, grading, filling or otherwise (other than by natural causes) the present grade or ground level of the Easement Parcel from existing levels without Grantee's written consent, which shall not be unreasonably withheld, conditioned or delayed. Grantee acknowledges and agrees that the easements granted under this Agreement are non-exclusive and that Grantor has the right to grant other easements over, under, across and through the Easement Parcel and the Temporary Easement Parcel as long as such easements do not unreasonably interfere with Grantee's use and enjoyment of the Easement Parcel or the Temporary Easement Parcel.
4. Covenants of Grantee. Grantee covenants and agrees that Grantee shall use the Easement Parcel and the Temporary Easement Parcel and operate and maintain the underground Fiber-Optic Lines, all in compliance with the applicable law. Grantee shall coordinate with Grantor regarding the elevation of the underground Fiber-Optic Lines and manhole installations, in order to allow for a level surface. Prior to entering or performing any work in the Easement Parcel or the Temporary Easement Parcel, Grantee shall deliver at least ten (10) days' prior written notice to Grantor including the scope of work, duration of the project and a copy of the plans. Grantee acknowledges and agrees that all plans for the initial installation or any subsequent installation or modification of the Fiber-Optic Lines and any other improvements must be pre-approved in writing by Grantor prior to the commencement of any work. Grantee, at all times during the term of this Agreement and at its own cost, will maintain (i) a Commercial General Liability insurance policy (including completed operations and contractual liability) on an occurrence basis in an amount not less than \$2,000,000 per occurrence, and (ii) Business Auto coverage in an amount not less than \$1,000,000 combined single limit. Grantee may procure these limits under one or more blanket policies or through the use of both primary and excess insurance. All policies will be written by an insurer rated at least A- by A.M. Best and authorized to do business in the state of Illinois. Grantee's commercial general liability, auto and excess policies

will list SBA Communications Corporation and its Affiliates as an additional insured. Grantee shall deliver a certificate of insurance evidencing the insurance coverages required by this Section to Grantor on or prior to the date of this Agreement. Grantee shall ensure that all of Grantee's contractors who perform work on the Easement Parcel, Temporary Easement Parcel or Adjacent Grantor Property shall maintain insurance satisfying the requirements of this Section.

5. Maintenance, Repair and Removal. Grantee hereby covenants and agrees as follows with respect to the maintenance and repair of the Easement Parcel and the Temporary Easement parcel:
 - (a) Grantee shall, at its cost and expense, perform all such construction, installation, maintenance, repairs, replacements, upgrades or other work authorized pursuant to this Agreement (collectively, the "Grantee's Work") as is necessary, from time to time, to operate and maintain the Fiber-Optic Lines in good and safe order and condition.
 - (b) Except in cases of emergency, Grantee shall perform Grantee's Work during normal business hours on weekdays.
 - (c) Grantee shall perform Grantee's Work in compliance with applicable law, including, without limitation, obtaining all necessary permits and licenses for such Grantee's Work.
 - (d) Grantee shall repair and restore, at its cost and expense, no later than thirty (30) days after the completion of such Grantee's Work, the Easement Parcel, the Grantor Adjacent Property and the Temporary Easement Parcel to substantially the same condition immediately preceding the commencement of such Grantee's Work.
 - (e) Grantee shall not cause, permit or suffer any lien to attach to or be recorded against the Grantor Parcel, Easement Parcel or the Temporary Easement Parcel for any labor or materials provided or claimed to have been provided in connection with Grantee's Work. If any such lien is attached to or recorded against the Easement Parcel or Temporary Easement Parcel, Grantee shall cause such lien to be released within thirty (30) days after such attachment, filing or recordation, or if Grantee contests such lien, Grantee shall post a bond for the entire amount of such lien until the resolution of such contest.
 - (f) Upon the expiration of this Agreement, Grantee, as directed by Grantor, and at Grantee's sole cost and expense, shall either (i) remove the Fiber-Optic Lines and all other improvements installed by Grantee and restore the Easement Parcel, Temporary Easement Parcel and Adjacent Grantor Property to its original

condition, or (ii) leave the Fiber-Optics Lines and related improvements in place and transfer unencumbered ownership of the Fiber-Optic Lines and improvements to Grantor via a bill of sale at no cost to Grantor. Grantor shall deliver written notice to Grantee prior to the expiration date of the Agreement as to Grantor's election of either option (i) or option (ii) above.

6. Assumption of Liability, Release of Claims; Indemnity

- (a) Grantee hereby assumes sole and full responsibility for any and all loss of life, injury to persons or damage to property (wherever such property may be located) or other liability, damage, loss, cost or expense that may be sustained by Grantee or the Grantee Designees due to the use of the Easement Parcel or the Temporary Easement parcel (each, a "Casualty"), and for itself and for the Grantee Designees, hereby releases Grantor, its shareholders, member, partners, trustees, directors, officers, managers, employees, agents, contractors, mortgagees, licensees, guests, invitees, subsidiaries, affiliates, successors and assigns) (collectively, the "Grantor Indemnitees") from any and all liability, loss, damage, cost or expense (including without limitation, reasonable attorneys' fees and court cost) incurred by any of the Grantor Indemnitees as a result of any such Casualty, but only to the extent of the Grantee and/or Grantee Designee's negligence or willful and wanton misconduct.
- (b) Grantee hereby agrees to indemnify, defend and hold harmless each of the Grantor Indemnities from and against any and all claims, liability, loss, damage, cost and expense (including without limitation, reasonable attorneys' fees and court costs) incurred by any of the Grantor Indemnitees in connection with any such Casualty, to the extent caused by Grantee or Grantee Designees, but only to the extent of the Grantee and/or Grantee Designee's negligence or willful and wanton misconduct.

7. Representations and Warranties.

- (a) Grantor hereby represents and warrants to Grantee as of the date hereof as follows:
 - (i) Grantor is the sole owner of legal fee simple title to the Easement Parcel and the Temporary Easement Parcel, free and clear of all mortgages, security interests, or other agreements or encumbrances whatsoever that have not been subordinated to this Agreement.
 - (ii) Grantor has not received any written notice from any person regarding any pending or threatened condemnation proceeding involving the Easement Parcel or the Temporary Easement Parcel.
 - (iii) To Grantor's knowledge, there are no outstanding mechanic's liens or rights to claim a mechanic's lien in favor of any contractor, materialman,

or laborer or any other person or entity in connection with any portion of the Easement Parcel or the Temporary Easement Parcel.

- (iv) The execution, delivery and the performance of this Agreement by Grantor will not violate in any material respect the provisions of any agreement or instrument to which Grantor of the Easement Parcel or the Temporary Easement Parcel is bound.

8. Transfer. Upon any transfer or conveyance of the Easement Parcel, the Temporary Easement Parcel or any portion thereof by Grantor, Grantor shall be released from any liability under this Agreement with respect to the real estate so transferred or conveyed, and the transferee shall be bound by and deemed to have assumed the obligations of Grantor arising from and after the date of such transfer or conveyance.
9. Notices. Any notice, request for consent, consent or demand (“Notice”) required or desired to be given by or on behalf of either party upon the other shall be in writing and shall be given by (a) certified mail; (b) national overnight courier; or (c) personal delivery service, in each case to the following address: if to Grantor, SBA Edge, LLC, 8051 Congress Avenue, Boca Raton, FL 33487, Attention: General Counsel, and if to Grantee, Kane County Information Technologies Department, Kane County Government Center, 719 Batavia Ave., Bldg. B, Geneva, IL 60134, Attention: Roger Fahnestock and to Kane County State’s Attorney’s Office, 100 S. Third Street, Fourth Floor, Geneva, IL 60134, Attention: Civil Division, or to such other address as may be specific in writing from time to time and delivered to the other party pursuant to this Section, and such Notice shall be deemed delivered upon (i) actual receipt of notice by the other party to whom such Notice is sent, provided such Notice is received prior to 5:00 p.m. of the recipient’s local time on a business day, otherwise the following business day, or (ii) when the delivery of such Notice is refused; or (iii) when the delivery of such Notice is attempted by unsuccessful because the party to whom such Notice is sent did not provide its current or updated address to the other party.
10. Covenants Run with the Land; Third- Party Beneficiaries. The covenants, benefits, burdens and other terms of this Agreement shall run with the Easement Parcel and the Temporary Easement Parcel, respectively, and are binding upon and inure to the benefit of all parties having or acquiring any right, title or interest in or to the Easement Parcel and the Temporary Easement Parcel (as the case may be), or any portion thereof or estate or interest therein. Except as set forth herein, the Agreement shall not confer any rights or remedies upon any other third party.
11. Estoppel. The parties hereto each agree to execute and deliver to the requesting party an estoppel certificate stating that this Agreement is in full force and effect and that no party is in default hereunder (or specifying in detail any default). Such certificate shall be delivered within thirty (30) days of such request.

12. Governing Law; Severability. This Agreement shall be governed by the State of Illinois. If any term or provision of this Agreement is held to be rendered invalid or unenforceable at any time in any jurisdiction, such term or provision shall not affect the validity or enforceability of any other terms or provisions of this Agreement, or the validity or enforceability of such affected terms or provisions at any other time or in any other jurisdiction.
13. Enforcement and Attorney's Fees. If any party hereto shall bring an action, legal or equitable, against any other party hereto in connection with an alleged breach of the terms and provisions hereof, the prevailing party shall be entitled to its reasonable attorneys' fees and costs in connection with any such action. In the event of a breach or threatened breach of any term, covenant or condition of this Easement, the nonbreaching party shall have, in addition to all other equitable remedies available, the right to enforce the provisions hereof by the equitable remedy of specific performance, or the right to enjoin such breach or threatened breach by injunctive action, without the necessity of proof of actual damage or inadequacy of any legal remedy. If any legal action or other proceeding is brought to enforce this Easement, or because of an alleged dispute, breach, or default in connection with any of the provisions of this Easement, each party shall bear their own costs, including attorneys' fees as well as any and all other costs related in any way whatsoever to enforcement of this Easement, regardless of which party prevails.
14. Entire Agreement; Amendments to Agreement. This Agreement (including the recitals to this Agreement which are incorporated herein) sets forth the entire understanding and agreement of the parties hereto and supersedes any other agreements and understandings (written or oral) between Grantor and Grantee made on or prior to the date of this Agreement with respect to the matters set forth herein. No amendment or modification to any terms of this Agreement, waiver of the obligations of Grantor or Grantee hereunder, or termination of this Agreement (other than pursuant to the terms of the Agreement), shall be valid unless in writing and signed by Grantor and Grantee.
15. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and all of which counterparts together shall constitute one agreement with the same effect as if the parties had signed the same signature page.

IN WITNESS WHEREOF, Grantor and Grantee have executed this Agreement as of the date first written above.

GRANTOR:

SBA EDGE, LLC
a Florida limited liability company

By: _____
Name: _____
Title: _____

ACKNOWLEDGEMENT

STATE OF _____)
) SS.
COUNTY OF _____)

I, _____, a notary public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that _____, personally known to me to be a _____ of SBA EDGE, LLC, a Florida limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that in his/her capacity as such, he/she signed and delivered said instrument pursuant to proper authority given by the directors of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed as said corporation, for the uses and purposes therein set forth.

GIVEN under my hand notarial seal this ____ day of _____,

Notary Public
[SEAL]

My Commission expires:

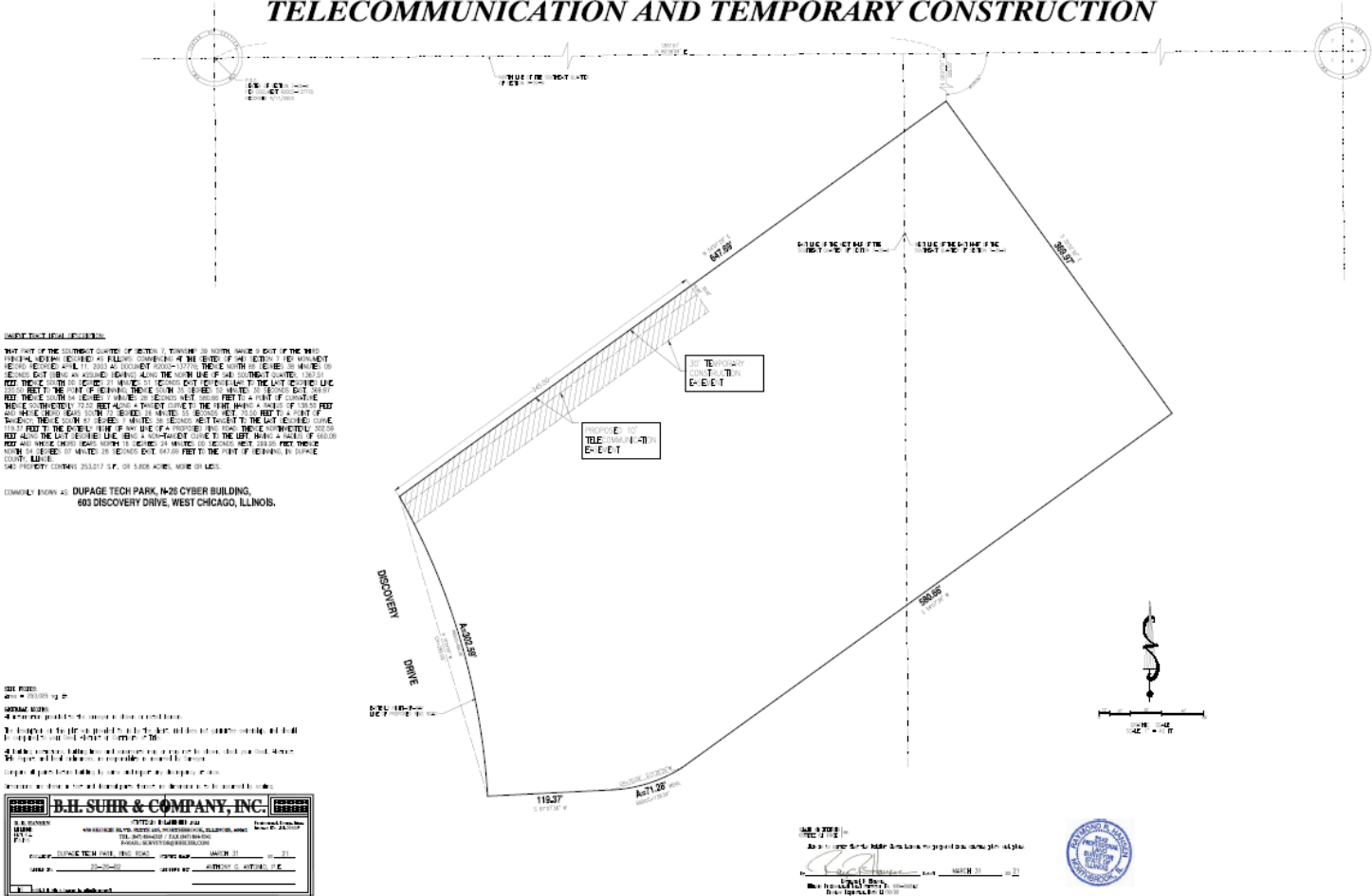
EXHIBIT "A" GRANTOR PARCEL

PARENT TRACT LEGAL DESCRIPTION:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SAID SECTION 7 PER MONUMENT RECORD RECORDED APRIL 11, 2003 AS DOCUMENT R2003-137776; THENCE NORTH 89 DEGREES 38 MINUTES 09 SECONDS EAST (BEING AN ASSUMED BEARING) ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, 1367.51 FEET; THENCE SOUTH 00 DEGREES 21 MINUTES 51 SECONDS EAST PERPENDICULAR TO **THE** LAST DESCRIBED LINE, 220.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 35 DEGREES 52 MINUTES 30 SECONDS EAST, 369.97 FEET; THENCE SOUTH 54 DEGREES 7 MINUTES 28 SECONDS WEST, 580.66 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY 72.52 FEET ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 138.50 FEET AND WHOSE CHORD BEARS SOUTH 72 DEGREES 26 MINUTES 55 SECONDS WEST, 70.50 FEET TO A POINT OF TANGENCY; THENCE SOUTH 87 DEGREES 7 MINUTES 38 SECONDS WEST TANGENT TO THE LAST DESCRIBED CURVE, 119.37 FEET TO THE EASTERLY RIGHT OF WAY LINE OF A PROPOSED RING ROAD: THENCE NORTHWESTERLY 302.59 FEET ALONG THE LAST DESCRIBED LINE, BEING A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 660.08 FEET AND WHOSE CHORD BEARS NORTH 16 DEGREES 24 MINUTES 00 SECONDS WEST, 299.95 FEET; THENCE NORTH 54 DEGREES 07 MINUTES 28 SECONDS EAST, 647.69 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. SAID PROPERTY CONTAINS 253,017 S.F., OR 5.808 ACRES, MORE OR LESS.

COMMONLY KNOWN AS: DUPAGE TECH PARK, N-26 CYBER BUILDING, 603 DISCOVERY DRIVE, WEST CHICAGO, ILLINOIS.

EASEMENT EXHIBIT B TELECOMMUNICATION AND TEMPORARY CONSTRUCTION



IMPORTANT LEGAL OPINIONS:

NO PART OF THE FOREGOING CONVEYS OR TRANSFERS TO ANYONE, WITH OR WITHOUT BENEFIT OF THE WRIT, ANY RIGHT OR INTEREST IN REAL PROPERTY, INCLUDING AN EASEMENT, OR ANY OTHER RIGHT OR INTEREST IN REAL PROPERTY, UNLESS THE WRIT IS SPECIFICALLY SO GRANTED. THESE RIGHTS ARE RESERVED TO THE DONOR AND HIS HEIRS AND SUCCESSORS. THE DONOR WANTS TO MAKE IT CLEAR THAT THE DONOR IS NOT MAKING ANY WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE DONOR IS NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE DONOR IS NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

CONVEYED TO: DUPAGE TECH PARK, N-26 CYBER BUILDING,
600 DISCOVERY DRIVE, WEST CHICAGO, ILLINOIS.

DATE: 11/11/2014
BY: [Signature]
TITLE: [Title]
COMPANY: [Company Name]

D.H. SUHR & COMPANY, INC.
 REAL ESTATE BROKERS
 4000 BIRCHWOOD DRIVE, SUITE 100, WEST CHICAGO, ILLINOIS 60059
 (708) 439-8800
 www.dhsuhr.com

ACCEPTED: [Signature]
 [Name]
 [Title]
 [Date]



EXHIBIT "B"



Kane County

Judicial Center Campus Master Plan



Kane County Illinois
November 2009



Chairman's Summary

It is with great enthusiasm that I recommend for adoption this Master Plan for the long term development of our future consolidated county complex at the current Judicial Center site. Following the vision put forth in the Strategic Plan initiative approved by the County Board in 2006, this plan illustrates the logical build-out of the Judicial Center site to provide comprehensive government, justice and law enforcement services to the citizens of Kane County.

The process of determining this final master plan configuration involved many individuals and many hours of meaningful discussion with our professional consultant planning team. I thank the county's elected officials along with the directors and staffs from every county department for their time and commitment over the past year to insure the best possible outcome of this visionary process.

I also thank the Citizen Advisory Committee and municipal representatives for their participation in shaping the final plan recommendation. It is only through this public dialog that the many complex issues of planning such a campus can be vetted. An undertaking of this scale is truly a countywide effort and represents the involvement of many minds working together for a common purpose.

Thank you for your participation and continued investment in Kane County's future!
(Chairman's name and Signature)



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One Introduction
Background and Goals

Two Master Plan Overview
Details and Descriptions

Three Space Needs Projections
Planning Parameters
Departmental Survey Data

Four Implementation



Executive Summary

In the February of 2008, Kane County began the process of Master Planning the future development of the Judicial Center complex located west of downtown Geneva on Route. 38. Following the Strategic Plan Initiative approved by the County Board in November of 2006, the concept entailed the creation of a consolidated campus for all Justice and Law Enforcement functions along with all County Government services.

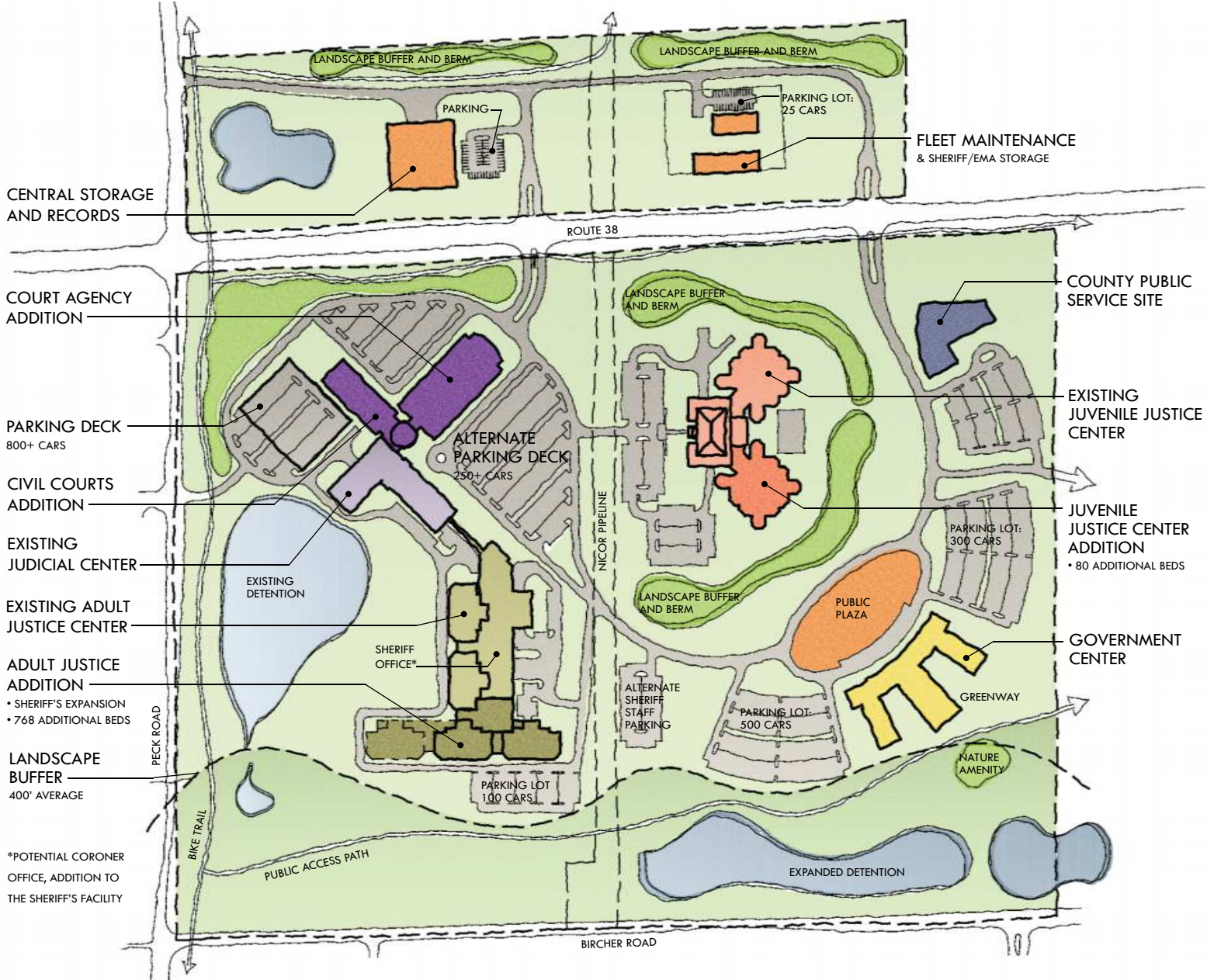
Today this campus contains the Criminal and Family divisions of the 16th Judicial District along with the Juvenile Justice Center, new Adult Justice Center and Sheriff's Department. The remaining Civil Division portion of the court system and the County Government offices are currently located in Downtown Geneva. It is the intent of this Master Planning exercise to complete the land plan vision for the County Complex site by suggesting the best layout configuration for all facilities that are ultimately to be located on this campus. By using the County's demographic projections and a departmental interview process, projections have been made for facility sizes to guide the planning process.

The over-arching goal of this plan is to propose a logical master plan for a future consolidated County Complex that is both incrementally achievable and provides maximum accommodation for the needs of Kane County's citizens while maintaining a responsible stewardship of the natural environment. This consolidation represents all core functions of the County and the County will continue to utilize satellite locations to provide service to the residents throughout the County.

This document is the result of numerous conversations with both elected officials and county departmental staff. It also reflects the concerns and comments of citizen and municipal groups obtained through a series of public workshops. Although comprehensive in accommodating the County's facility needs, this final plan is intended to be flexible and allows for the evolution of new ideas and the realities of future funding priorities.



Completed Master Site Plan Highlights:



Executive Summary

Department Space Needs:

Department	Existing Conditions			Short-Term		Mid-Term		Long-Term	
	Staff Count	DGSF*	Location	DGSF*	Location	DGSF*	Location	DGSF*	Location
Non-Judicial - Total	432	163,175	--	176,186	--	191,640	--	235,309	--
Animal Control	12	10,000	K	10,000	K	10,000	K	13,800	K
Auditor	3	815	A	1,015	A	1,115	A	1,115	A
Coroner	17	3,319	M	3,319	M	6,500	M	6,500	M
County Board ¹	35	6,255	A	6,700	A	7,700	A	10,100	A
County Clerk	37	16,500	A	17,700	A	20,200	A	26,400	A
County Clerk - Storage ²	--	18,600	L	18,600	L	18,600	F	18,600	F
Development	37	7,260	A	7,260	A	7,260	A	7,260	A
Environmental ³	5	3,211	A/Other	3,381	A/Other	4,000	A	5,200	A
Finance	8	2,450	A	2,800	A	3,300	A	4,300	A
Fleet Maintenance ⁴	3	3,500	P	6,550	G	6,550	G	9,100	G
Warm Vehicle Storage ⁵	--	3,500	P	10,400	H	10,400	H	14,400	H
GIS	9	2,890	A	3,100	A	3,600	A	4,700	A
Health Department ⁶	N/A	--	N	N/A	--	N/A	--	6,767	A
Health Department - Aurora ⁷	87	17,264	N	17,264	N	20,892	N	20,392	N
Human Resources	7	1,960	A	2,500	A	2,900	A	3,900	A
Information Technology	38	8,140	A	8,800	A	10,000	A	13,100	A
KDOT Administration	32	13,275	J	13,275	J	13,275	J	13,275	A
KDOT Transportation ⁸	Not Included in Study								
Merit Commission	2	445	A	445	A	445	A	500	A
OEM	3	1,890	A	1,890	A	1,890	A	2,700	Other
Recorder	19	6,213	A	6,213	A	6,213	A	6,300	A
Regional Office of Education	37	10,520	Q	8,000	Q	9,800	A	12,800	A
ROE Storage	--	3,500	Q	3,500	Q	3,500	F	3,500	F
Supervisor of Assessments	21	3,207	A	4,149	A	4,800	A	6,400	A
Training Space (County-Wide)	--	4,325	A/Q	4,325	A/Q	5,400	R or A	7,000	R or A
Treasurer	12	2,975	A	3,200	A	3,700	A	4,900	A
Veteran's Commission	3	740	A	800	A	1,000	A	1,200	A
Water Resources	5	985	A	1,100	A	1,300	A	1,600	A
Multi-Department Storage ⁹	--	5,936	L	6,400	L	7,300	L	9,500	F

Building Location Key

- A County Government Center
- B Judicial Center
- C Adult Justice Center
- D Sheriff's Office Building
- E Juvenile Justice Center
- F Records Storage Building
- G Fleet Maintenance Building
- H Warm Vehicle Storage
- J KDOT Facility - Burlington Road
- K Animal Control
- L Randall Road Campus (540 Randall)
- M Coroner Facility
- N Aurora Health Department
- O 3rd Street Courthouse
- P Fabyan Road Campus 0 Old Jail Facility
- Q 6th Street School
- R County Public Service Site
- S Child Advocacy Center
- 427 Cambel St. & 428 James St.

*DGSF = Department Gross Square Footage

Department Space Needs:

Department	Existing Conditions			Short-Term		Mid-Term		Long-Term	
	Staff Count	DGSF*	Location	DGSF*	Location	DGSF*	Location	DGSF*	Location
Judicial - Total	729	543,309	--	587,728	--	655,728	--	1,017,983	--
Adult Justice Center ¹⁰	181	183,400	C	210,400	C	210,400	C	463,550	C
Cafeteria/Kitchen at JC	N/A	9,500	B	10,200	B	11,600	B	15,200	B
CASA	6	2,149	O	2,300	O	2,700	B	3,500	B
Circuit Clerk - Main Operations	121	40,775	L	43,700	L	49,800	B	65,300	B
Circuit Clerk - Main Records	--	14,565	L	15,600	L	17,800	B/F	23,400	B/F
Circuit Clerk - Civil Support	1	870	O	1,000	O	1,100	O	1,400	B
Civil Courts	18	42,144	O	45,100	O	51,500	O	67,500	B
Court Services	40	12,650	B	13,600	B	15,500	B	20,300	B
Criminal Courts	19	73,250	B	78,400	B	89,400	B	117,200	B
Diagnostic Center	11	2,350	P	2,600	P	2,900	B	3,800	B
Dispatch (911 Facility)	20	2,795	A	2,795	A	2,795	A	3,900	Other
Juvenile Justice Center ¹¹	13	70,400	E	70,400	E	102,400	E	112,400	E
Law Library	N/A	5,100	B	5,500	B	6,300	B	8,200	B
Public Defender	45	12,900	B	13,900	B	15,800	B	20,700	B
Sheriff's Office ¹²	91	40,000	D	40,000	D	40,000	D	47,200	D
State's Attorney - Criminal	137	18,700	B	20,100	B	22,900	B	30,000	B
State's Attorney - Civil	10	4,428	O	4,800	O	5,500	B	7,100	B
Child Advocacy Center	16	7,333	S	7,333	S	7,333	S	7,333	S

¹ Staff Count Includes Board members & space square footages includes board room.

² Represents current storage space allocation at Randall Road Facility for elections equipment.

³ Includes SF @ Court Annex in calculations and projections for maintenance group.

⁴ County Sheriff's Fleet (non-KDOT) only - data from 2008 Mercury Associates report.

⁵ Proposed facility to provide vehicle storage for OEM & Sheriff/ other county vehicle storage.

⁶ Includes Health Department Administration, Resources, & Support and Community Health.

⁷ All Health Department groups in Aurora until Administration, Resources & Support and Community Health move out, then just remaining groups

⁸ Needs review conducted by Mercury Associates. 1/2008 report notes future operational needs to be met at existing site once Administration moves out

⁹ Represents aggregate off-site storage for multiple departments (currently at 540 Randall Road Facility).

¹⁰ Includes all detention and associated support space. All square footages are building gross. Short-term growth assumes build-out of 2 unfinished floors. Long-Term growth allows for addition of 3 housing towers (max. growth ceiling).

¹¹ Includes all detention and associated support space for courts, State's Attorney & Public Defender. Square footages noted are building gross.

¹² All square footages are building gross.

Acknowledgements

The creation of a master plan vision for a new consolidated county campus involved the leadership of many individuals. The following list of planning contributors is not meant to be comprehensive but does identify key stewards of the process and primary planning collaborators.

KANE COUNTY BOARD MEMBERS

Karen McConnaughay	<i>County Board Chairman</i>
Deborah Allan	Bonnie Lee Kunkel
Cristina Castro	Sylvia Leonberger
Donnell Collins	Philip Lewis
Mark Davoust	John B. Mayer
John P. Fahy	Robert J. McConnaughay
Ron Ford	Jeanette Mihalec
Drew Frasz	James C. Mitchell Jr.
John J. Hoscheit	Arlene H. Shoemaker
Catherine S. Hurlbut	Jackie Tredup
Gerald A. Jones	Thomas Van Cleave
Michael Kenyon	Jesse Vazquez
Hollie Kissane	Barbara Wojnicki
Robert A. Kudlicki	William A. Wyatt

CITIZENS ADVISORY COMMITTEE

Mark Davoust	<i>County Board</i>
Chris Bishop	<i>Harvest Hills Subdivision</i>
Carrie Ortiz	<i>Harvest Hills Subdivision</i>
Ed Bessner	<i>Harvest Hills Subdivision</i>
Todd Wallace	<i>City of St. Charles Plan Commission</i>
Dick Untch	<i>City of Geneva Community Development</i>
Nancy Fox	<i>St. Charles Park District</i>
Dan Stellato	<i>St. Charles Chamber of Commerce</i>
Patty Lackman	<i>Batavia League of Woman Voters</i>
James Urhausen	<i>Adult Justice Center Citizens Advisory Committee</i>
Sue Tills	<i>Adult Justice Center Citizens Advisory Committee</i>
Dean Kilburg	<i>Adult Justice Center Citizens Advisory Committee</i>
John Kerr	<i>Adult Justice Center Citizens Advisory Committee</i>

SIXTEENTH JUDICIAL CIRCUIT

F. Keith Brown	<i>Chief Judge</i>
Donald Hudson	<i>Former Chief Judge</i>
David Kliment	<i>Public Defender</i>
James Mueller	<i>Court Services</i>
Doug Naughton	<i>Courts Administration</i>

ELECTED OFFICIALS

Deborah Seyller	<i>Circuit Court Clerk</i>
William Keck	<i>County Auditor</i>
John Cunningham	<i>County Clerk</i>
Chuck West	<i>County Coroner</i>
Sandy Wegman	<i>County Recorder</i>
Patrick Perez	<i>County Sheriff</i>
David Rickert	<i>County Treasurer</i>
Douglas Johnson	<i>Regional Superintendent of Education</i>
John Barsanti	<i>State's Attorney</i>

DEPARTMENT HEADS

Phil Bus	<i>Development</i>
Cheryl Pattelli	<i>Finance</i>
Paul Kuehnert	<i>Health</i>
Sheila McCraven	<i>Human Resources Management</i>
Roger Fahnstock	<i>Information Technology</i>
Mark Armstrong	<i>Supervisor of Assessments</i>
Timothy Harbaugh	<i>Environmental & Building Management</i>

JUDICIAL CENTER MASTER PLAN SUBCOMMITTEE

Karen McConnaughay
Mark Davoust
Paul Greviskes
Hollie Kissane
Phil Lewis
Jim Mitchell
Don Wolfe

PROFESSIONAL PLANNING TEAM

Wight & Company



Introduction

Background

In February of 2008, the County of Kane retained the services of Wight & Company to prepare a master plan for its Judicial Center property west of Geneva, Illinois. The County's 2006 Strategic Plan had called for the consolidation of facilities on the Judicial Center property with satellite facilities where appropriate. In the months that followed, Wight & Company worked with County staff, directors, elected officials and a citizen advisory committee to develop a plan which would meet the needs of the County to the year 2050. This document is the result of that effort. It describes the process undertaken to develop a Master Plan and suggests a framework for the development of the Judicial Center property.

History

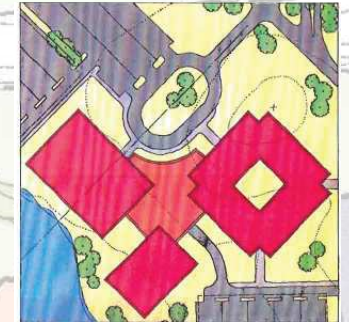
Wight & Company has been involved in the planning of the Judicial Center site since the beginning. In 1989, a Master Plan was prepared during the acquisition phase of the property. It depicted the current Courthouse facility and future phased build-out of that facility. The 1994 Kit of Parts Master Plan developed by Wight further refined the future phases of the Courthouse building and identified potential locations for the criminal justice facilities as well. Although not all of these future phases have been built, the Adult and Juvenile justice facilities as well as the Sheriff's department have since been constructed on site. The 2006 Strategic Plan recommended the consolidation of the county's operations on the balance of the property.

Process

Wight & Company began by gathering relevant information on the Judicial Center property, including previous master plan documents. In addition, building plans for each of the other county offices included in the consolidation were obtained. Staff counts and projections, area calculations of departmental offices, and demographic projections were acquired.

Elected officials and department heads were individually interviewed to gain first hand insight into organization, adjacencies, growth factors, and short, mid, and long-term needs. A survey available to every county employee was utilized to elicit comments and suggestions regarding work environment and perceived needs. A Subcommittee of the County Board was formed for oversight and review. Finally, a Citizens Advisory Committee was established to gain the participation of various local agencies and organizations in the planning process.

Specific goals in each of the following categories were established for the Judicial Center site based on input from all participants; site access, public interface, facilities, infrastructure and environmental issues. (These goals are laid out in the next section.) Various plan concepts were developed for the site and tested against these goals. Upon the presentation of these plans to the committees, a consensus emerged in favor of one concept known as the Valley concept. The Valley concept was further refined to incorporate the comments and suggestions of committee members and staff.



Introduction

Goals

The specific goals the Master Plan intended to address are identified below by category.

Access to the Site

- Multiple – Provide multiple points of ingress and egress to eliminate traffic bottlenecks.
- Organized – Clearly marked entrances and roadway system with easily identifiable destinations within.
- Multi-modal – Provide for automobile, bus, bicycle, and pedestrian access to and through the site.
- Interconnected – Integrate site circulation and access with established adjacent circulation systems.

Site Design

- Inviting – Develop the site in a way that displays a welcoming presence to the public. Provide outdoor spaces and amenities that are attractive and accessible to the public and employees, such as gathering spaces, quiet seating areas and biking/walking trails.
- Spacious – Provide area for future expansion that allow normal operations to continue uninterrupted as facilities are expanded.
- Natural – Preserve and enhance a natural prairie-like environment.
- Agreeable – Maintain generous buffers between on-site development and neighboring properties

Introduction

Facilities

- Green – LEED compliant and/or LEED certified buildings that maximize energy conservation and sustainable strategies.
- Contextual – New facilities that are harmonious with the existing buildings. Promote a pedestrian friendly civic environment with low buildings and plenty of open space. Minimize intrusive parking structures.
- Flexible – Open office environments that can serve more than one function and can be reconfigured easily to meet changing requirements. New buildings that can be expanded while minimizing disruptions to the occupants and adjacent facilities.
- Friendly – Organize buildings to serve the public first, creating welcoming environment that provides convenient access to services. Create a work environment that provides adequate space for each task and give the employee a level of control over the local interior environment. Incorporate 'green' principles such as day-lighting and natural ventilation.
- Secure – Create facilities that provide the necessary security to both public and employee alike.

Infrastructure

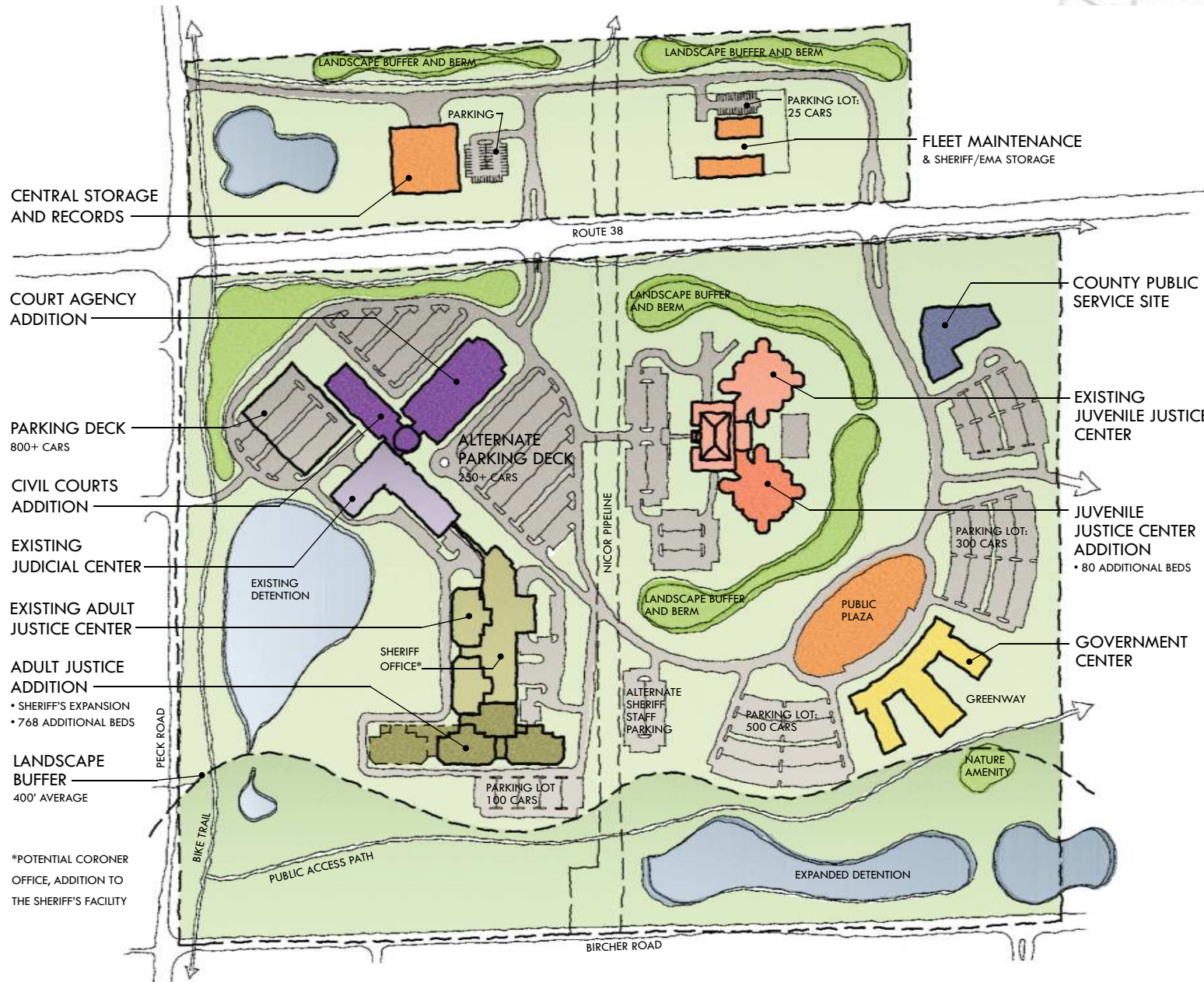
- Accommodate growth to 2050 – Size utilities for projected growth to 2050 with expansion capabilities built in.

Environment

- Sustainable – Employ 'green' design for stormwater collection and retention, paving materials, site lighting and other site components.
- Natural – enhance existing site features and create new natural features that enhance the open prairie-like environment



Proposed Final Build-Out



*POTENTIAL CORONER OFFICE, ADDITION TO THE SHERIFF'S FACILITY

ELGIN

ST CHARLES

GENEVA

BATAVIA

RA

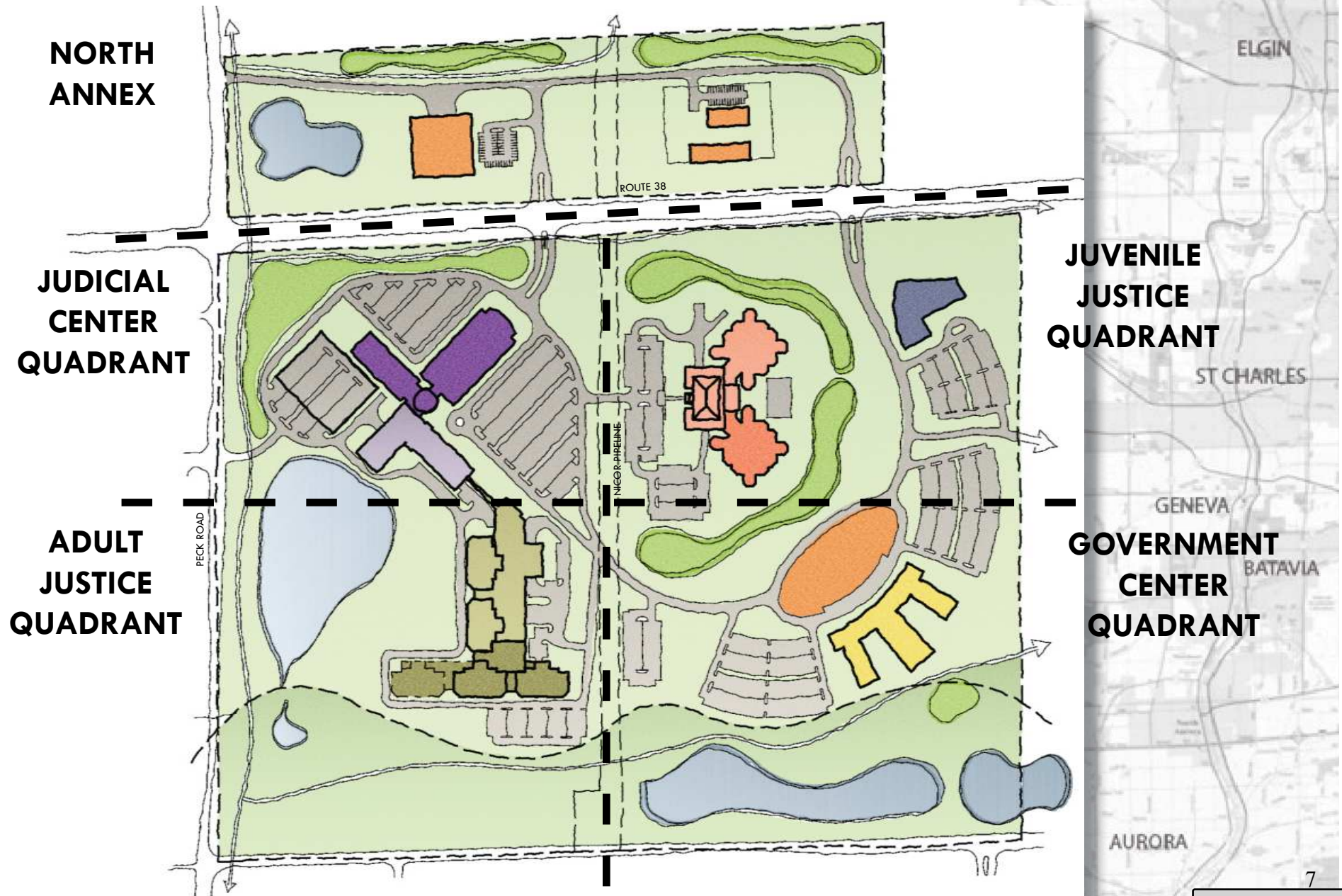
Completed Master Site Plan Highlights:

The site is divided into four quadrants. Each quadrant serves a core county function: Judicial, Adult Justice, Juvenile Justice, and County Government. Additional Central Records and Fleet Maintenance operations are located on the parcel north of Rt. 38.

An internal ring road connects all facilities and parking. A signalized intersection is proposed at the primary entrance to the existing Judicial Center, at some undetermined time in the future. A secondary intersection along Rt.38 to the east will provide additional access to the site.

Landscaped earth-berms and native prairie zones provide natural barriers to adjacent residential neighborhoods to the north and south. Some site areas have been set aside for public amenities.

County Complex Site Quadrants



Judicial Center Quadrant Highlights:

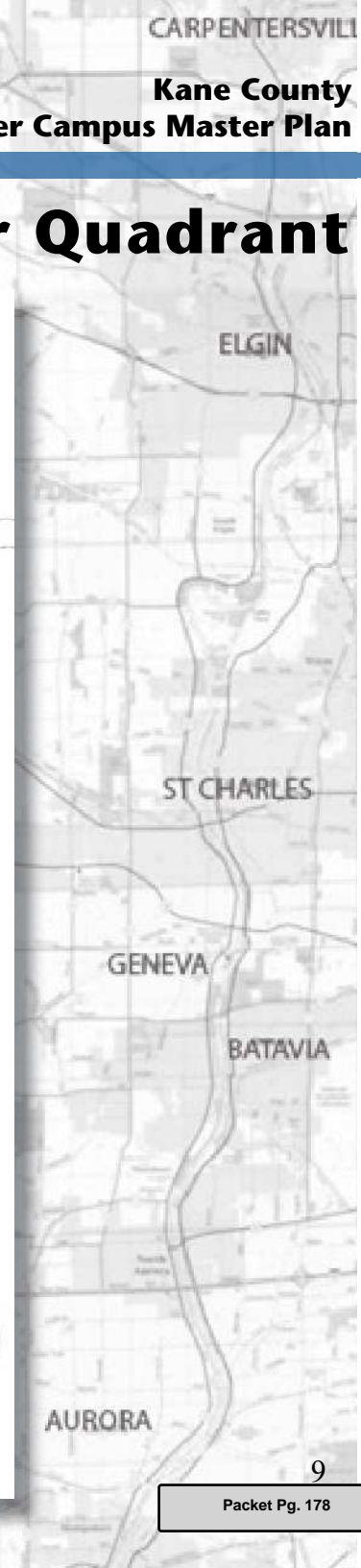
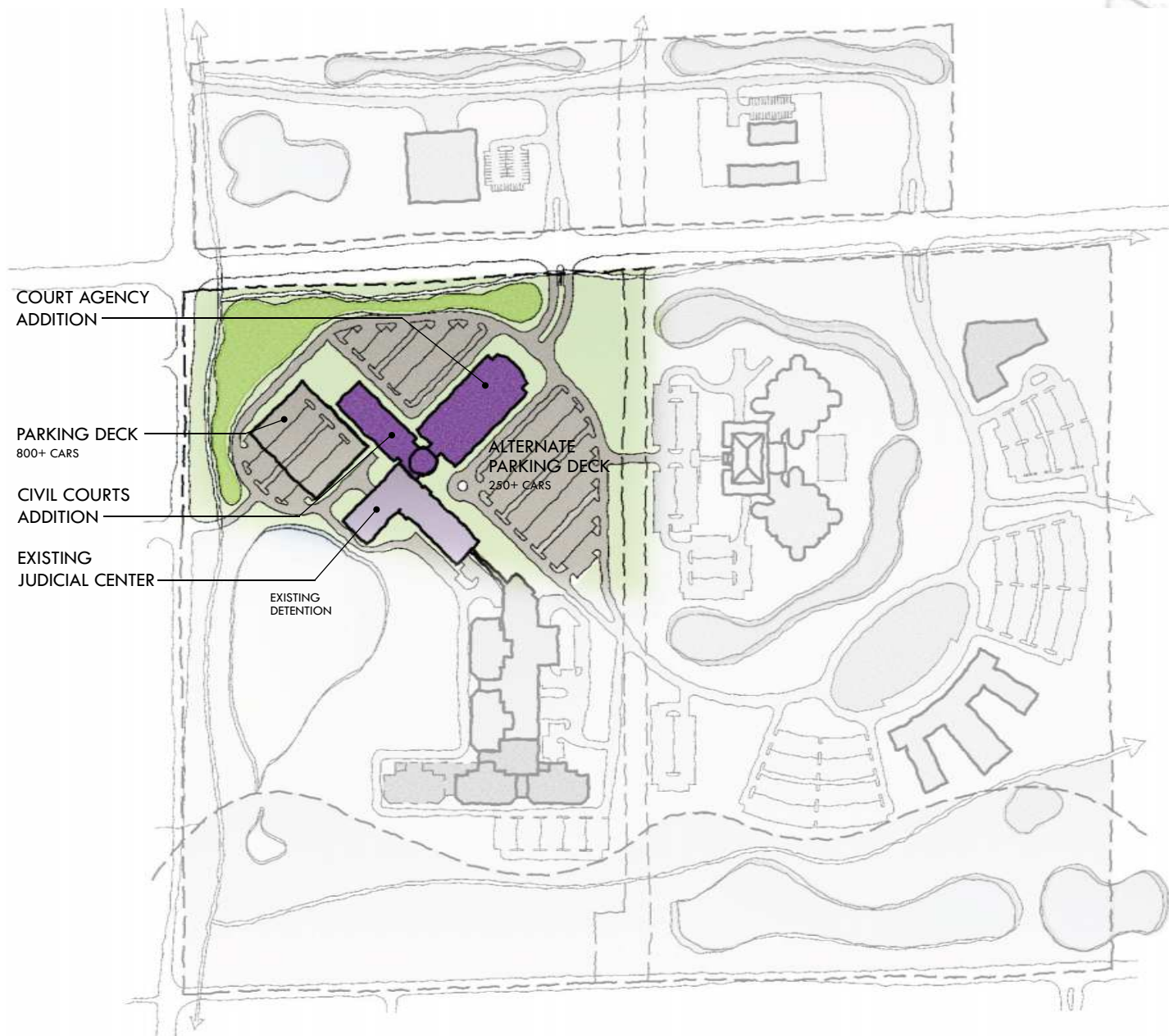
Proposed Court Agency Wing: Ground and Lower Levels: Circuit Court Clerk
Second Level: Public Defender & Court Services
Third Level: States Attorney

In the proposed **Civil Courts Wing:** Four level addition containing all courtrooms, judges chambers and associated functions of the Civil Courts Division currently located at the 3rd Street Courthouse.

Parking Structure: +/- 800 cars parking deck with accommodation for secure Judges parking area in the lower level.

Reconfiguration of Existing Courthouse: Conversion of current court agency spaces into new courtrooms for Criminal and Family Court Division.

Judicial Center Quadrant



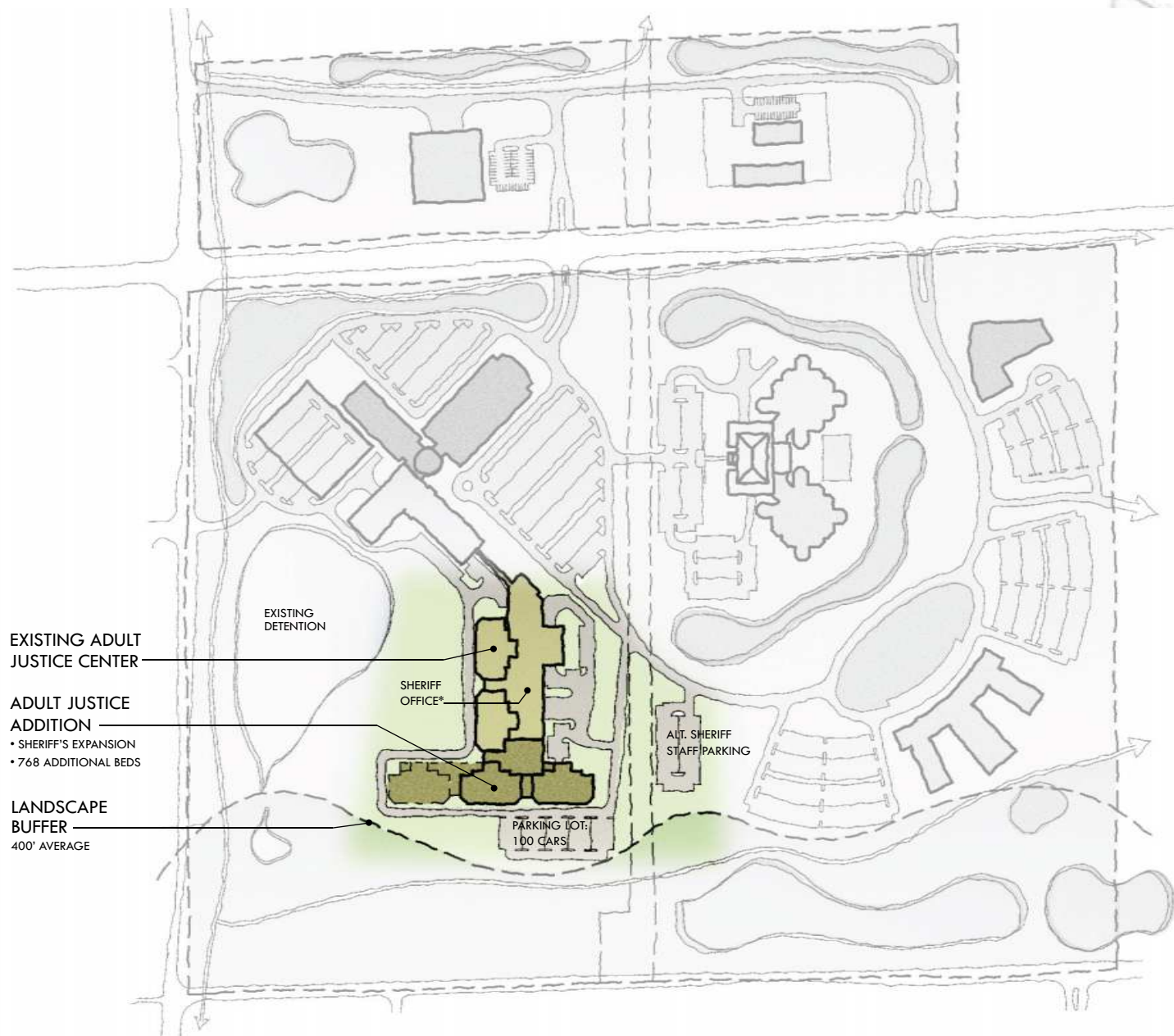
Adult Justice Center Quadrant Highlights:

Proposed **Jail Expansion:** A 768 bed expansion to the new Adult Justice Center was anticipated in the original design. This increased capacity would double the population of the jail. The construction of two new housing towers would be required to meet future inmate projections. In accordance with the intent of the original design, this expansion would require no additional support spaces that provide essential services to the inmate population. The potential accommodation of a future third housing tower would maximize the ultimate capacity of this facility to over 1800 inmates.

Proposed **Sheriff's Expansion:** 768 additional detention beds will drive increased operational needs for the Sheriff's facility. Law enforcement administration and officer training spaces will be expanded to meet the needs of this larger jail population and projected increased county growth.

Proposed **Parking Expansion:** A new 100 car staff parking area will be needed when the new housing towers are built. The parking is proposed east of the Nicor pipeline.

Adult Justice Quadrant



EXISTING ADULT JUSTICE CENTER

ADULT JUSTICE ADDITION
• SHERIFF'S EXPANSION
• 768 ADDITIONAL BEDS

LANDSCAPE BUFFER
400' AVERAGE

EXISTING DETENTION

SHERIFF OFFICE*

ALT. SHERIFF STAFF PARKING

PARKING LOT:
100 CARS

ELGIN

ST CHARLES

GENEVA

BATAVIA

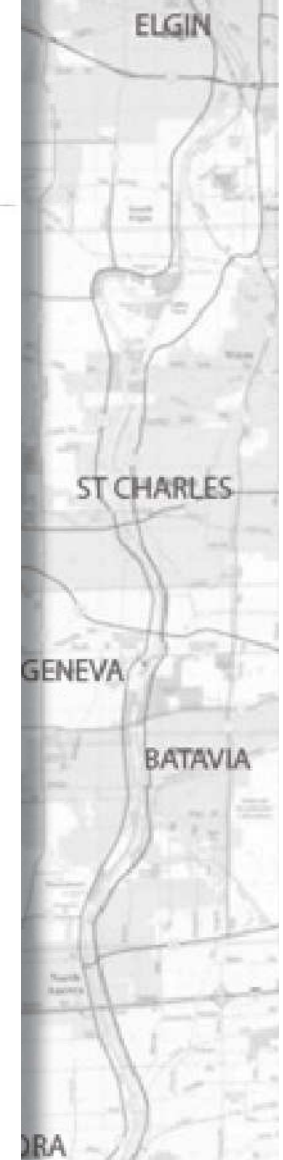
AURORA

Juvenile Justice Center Quadrant Highlights:

Proposed **Detention Expansion:** An 80 bed detention and education pod addition attached to the existing facility would double the current population of this juvenile center to a total of 160. In accordance with the intent of the original design this expansion would require no additional support spaces that provide essential services to the youth population. An alternative two level housing pod yielding a total of 160 additional beds is a possible alternative. This larger option will likely require the expansion of support services since this new combined capacity of 240 youth was not conceived in the original Juvenile Justice Center design.

Proposed **Juvenile Court Expansion:** The increased capacity of the detention component will drive the need for an additional juvenile courtroom. The original building design provided space for this second courtroom to be built-out when the detention housing expansion occurred. Provision for this new courtroom will require the relocation of temporary satellite court agency office space to a new location.

Juvenile Justice Quadrant



JUVENILE JUSTICE CENTER ADDITION
• 80 ADDITIONAL BEDS

Government Center Quadrant Highlights:

Proposed **County Government Center**: The construction of a new single building complex providing all administrative components of county governance with the exception of Health Services will replace the facilities currently located on the downtown Geneva campus. Although some government services will continue to be best delivered in a limited number of off-site satellite locations, most operations will be consolidated in this new center.

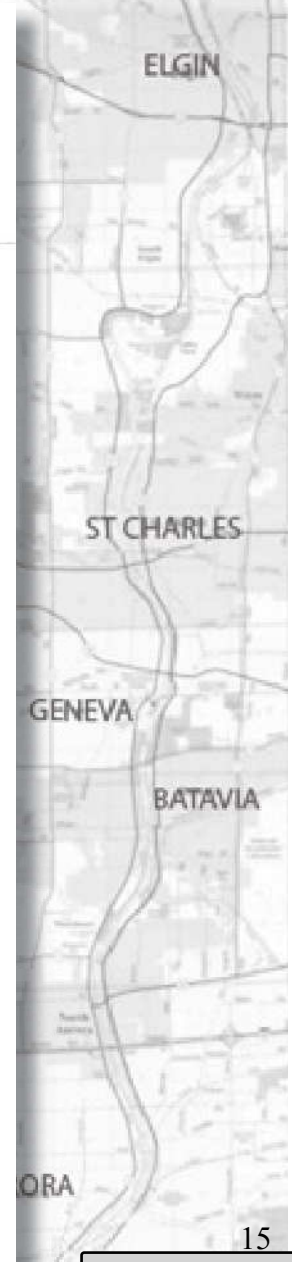
The Administration Center is to be designed with convenient customer service as the most important organizing principal. A “one-stop shopping” concept for citizens seeking various services should be the primary planning objectives for the complex. Clarity in wayfinding beginning at the entrance drive and extending to the parking areas and finally into facility itself, should guide citizen customers directly to their required destination. Customer facing personnel who are cross-trained in multiple departmental procedures further enhance this **customer focused vision for delivery of government services.**

The site location for the County Administration Center is adjacent to a 400’ landscaped buffer that visually screens the county complex from residential areas south of Bricher Road. This natural setting featuring native landscaping, storm water detention ponds and walking trails offers a unique opportunity for **creating a relaxed environmentally sensitive surrounding for county administration operations.**

Some provision for a **public assembly plaza** or gathering space is suggested in front of the Administration Center to provide a venue for numerous outdoor and civic events throughout the year.

Twin parking areas that flank the Administration Center provide **parking for up to 800 cars.**

Government Center Quadrant



County Complex North Annex Highlights:

Proposed **Fleet Maintenance Facility:** The property north of Rt. 38 is proposed to be developed for various support functions that are critical to Kane County operations. A new Fleet Maintenance Facility is planned to be located east of the Nicor gas pipeline and will accommodate the fleet service requirements of all non-KDOT vehicles. The fleet maintenance building will include vehicle maintenance bays as well as equipment and office support functions. North of the Fleet Maintenance Facility, a storage facility is proposed to meet the storage requirements of the Sheriff's Department and Office of Emergency Management. An outdoor parking lot for vehicle staging is also to be provided.

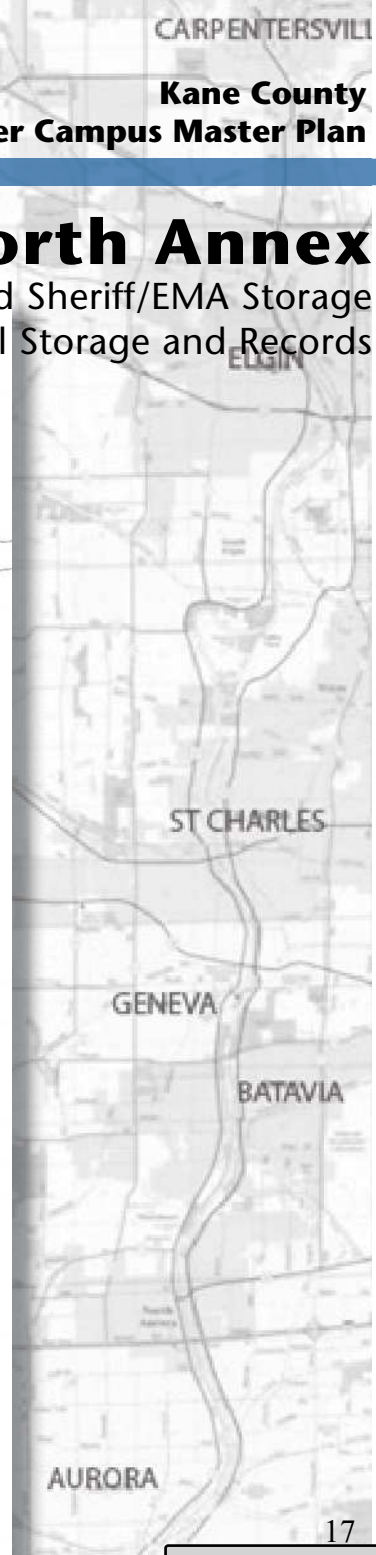
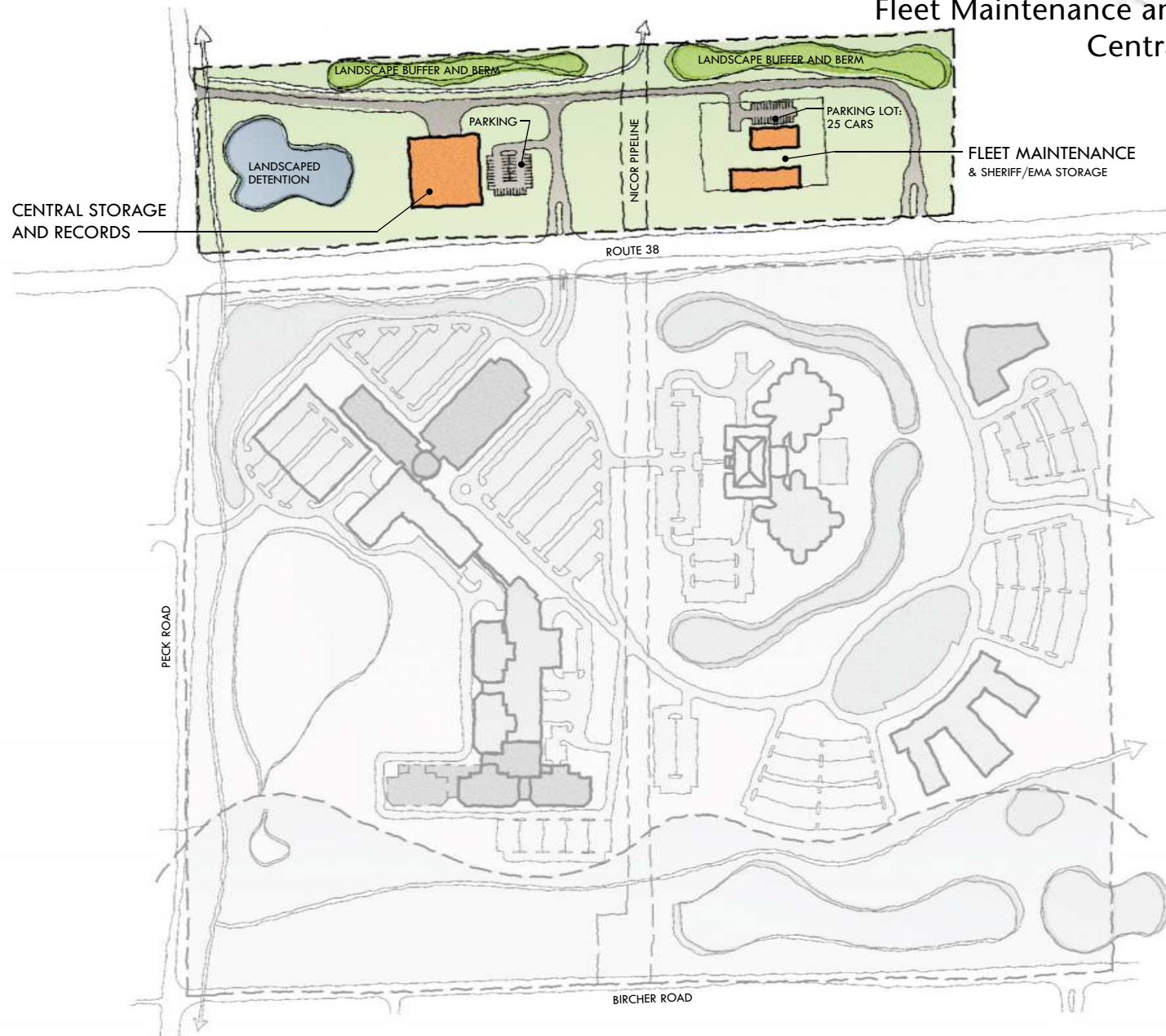
A new **Central Storage and Records Facility** is planned to be located west of the Fleet Maintenance complex. This operation will provide the county with much needed consolidated storage for many of the government services and justice agency departments. This operation may include records storage for the County Clerk and for the Circuit Court Clerk. Storage components for these offices will also be contained within their own office locations in the new County Complex.

The Central Storage and Records Facility should be planned for efficient high-density storage of non-active documents and office equipment. A portion of the facility is conceived to have mezzanine storage allowing for a variety of both high bay and standard 10' ceiling storage capability. Multiple service docks providing access for regular drop-off and pick-up activity are essential to this operation. A small employee and visitor parking lot will be provided adjacent to the administrative office entrance. The site placement of this facility will allow for future expansion. Appropriate visual screening will be provided as a sight buffer to the adjacent residential neighborhood.

Appropriate building design, fencing, and landscape berms will screen this operation from both residential neighbors to the north and traffic along Rt. 38 to the south. Any outdoor security lighting will be contained on the county site and will be designed to eliminate spill onto adjacent properties.

County Complex - North Annex

Fleet Maintenance and Sheriff/EMA Storage
Central Storage and Records

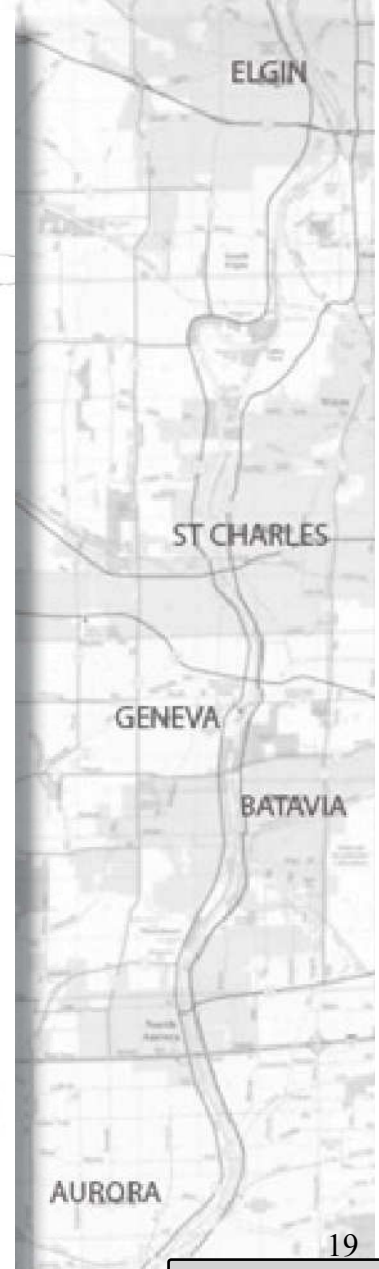
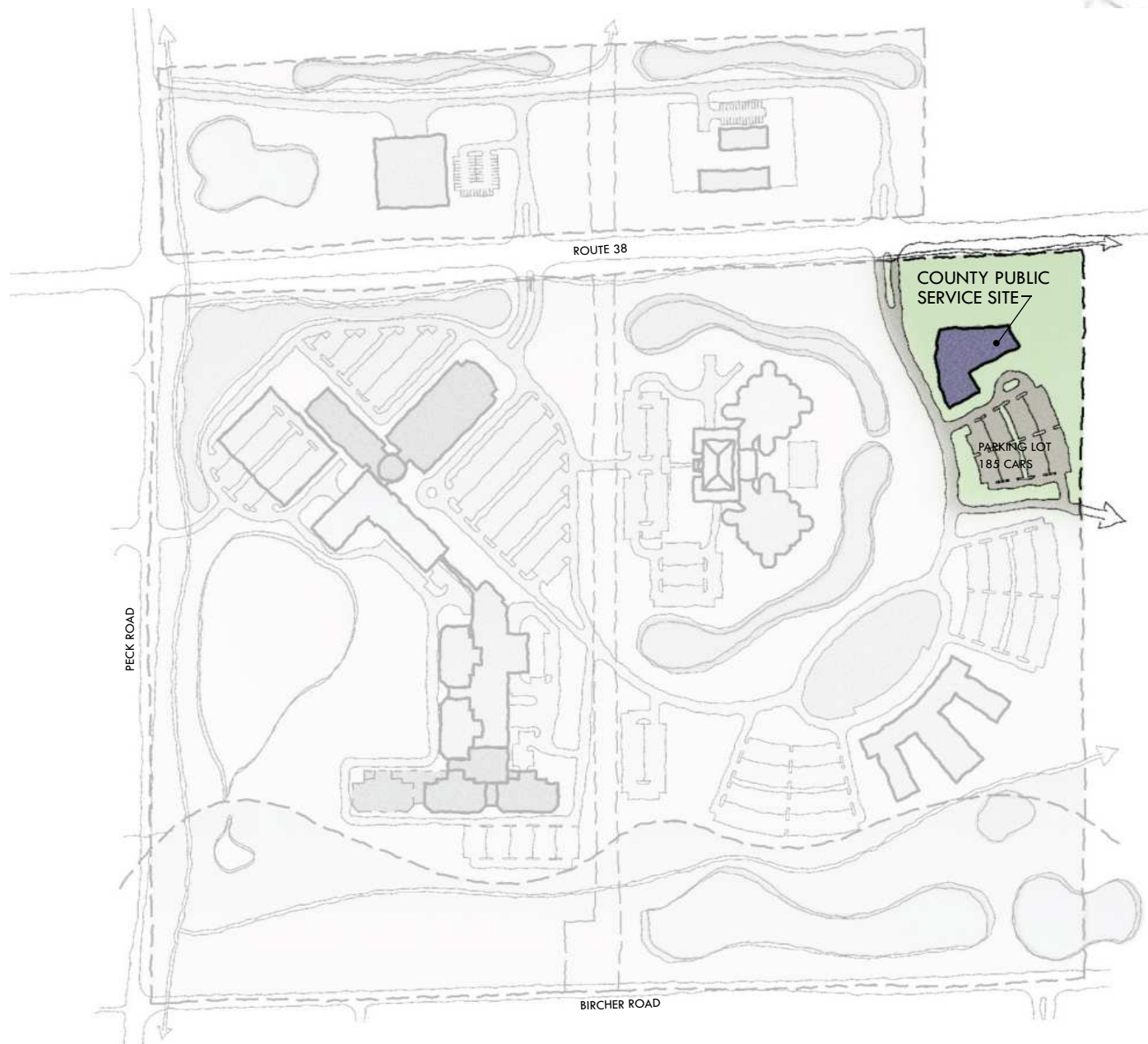


County Public Service Facility Highlights:

Proposed **County Public Service Facility:** The county is designating a future development parcel for an unspecified public service function. Located in the northeast corner of the property south of Rt. 38, this parcel is both visible and readily accessible to Kane County citizens and Kane County government. Potential uses for this facility could range from a conference center to a multi-purpose community activity venue supporting both indoor and outdoor events.

The building footprint indicated on the master plan for this facility is to be regarded merely as a placeholder or provision for a public service function to be determined at a future date.

County Public Service Facility



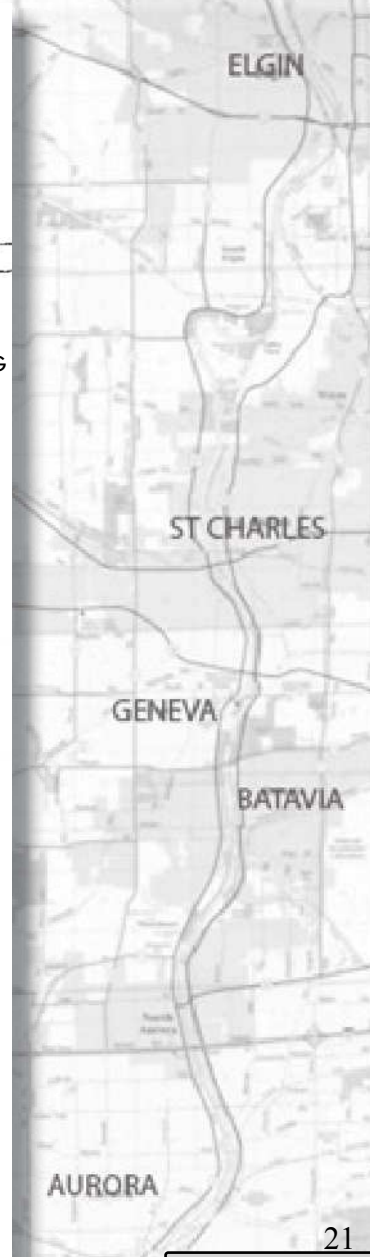
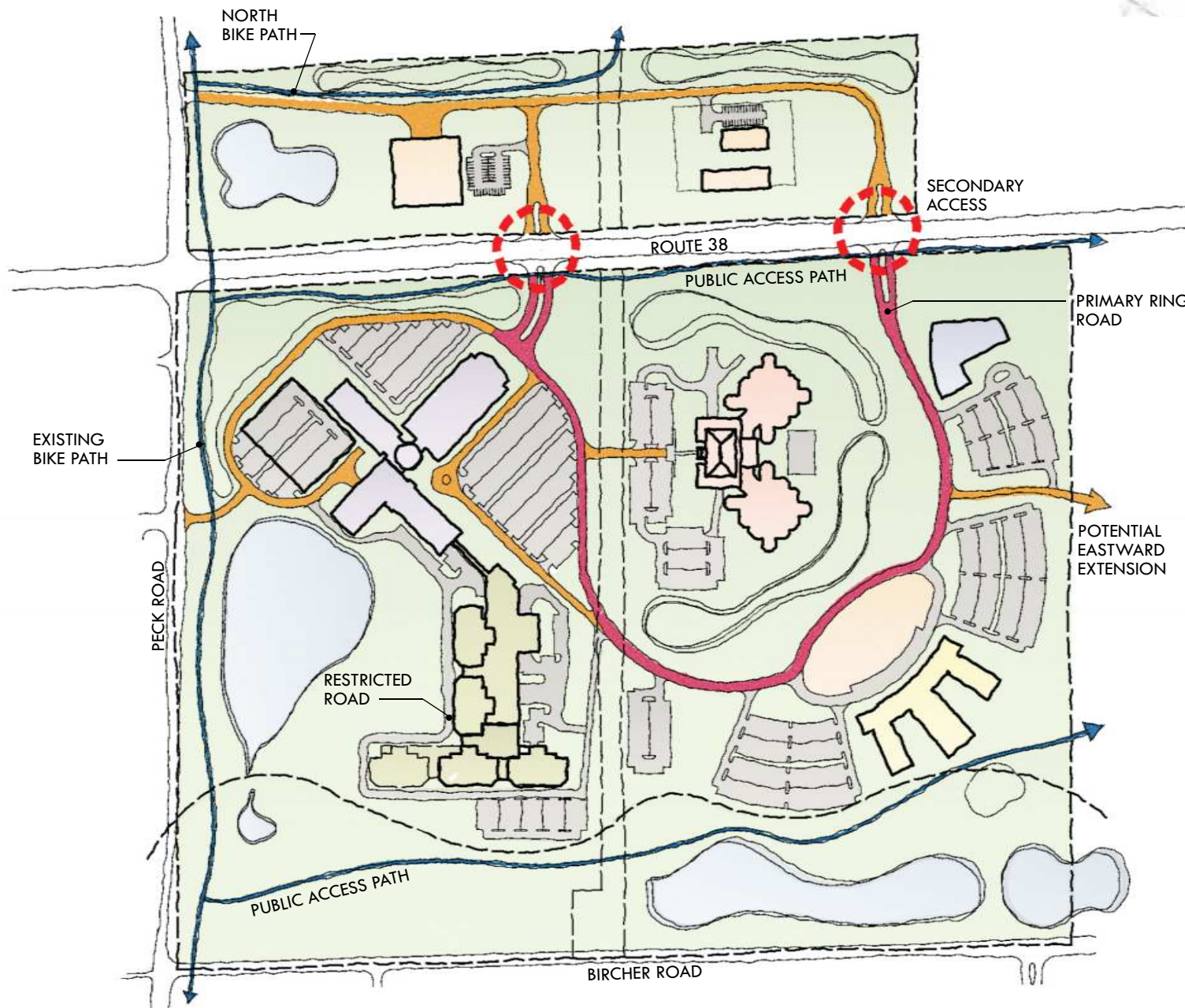
Site Circulation Network Highlights:

The proposed **Site Circulation Network** can be thought of as the completion and continuation of the road and parking system already established on the existing Judicial Center Site. Planned for **incremental phased development**, the original master plan conceptually envisioned a circulation loop that would connect future facilities and allow for **multiple access points** to the campus. Vehicular roadways are allowed to cross the existing gas easement whereas building construction is obviously prohibited.

The existing Judicial Center **site entrance will be signalized** at some undetermined future date with a dedicated westbound left turn lane to mitigate traffic congestion on Rt. 38. A secondary signalized entrance may be provided at the eastern portion of the site to allow separated traffic flow between justice and government functions if warranted by future traffic requirements. These entrances would allow vehicular traffic to access both the north and south land parcels and form a **looping circulation pattern that provides clear wayfinding to all county facilities.**

Tertiary entrance roads on both the north and south parcels provide **“backdoor” access** to Peck Road on the west side and a potential auxiliary connection through the neighboring property to the east. Secondary roads distribute vehicles to parking lots and parking structures throughout the campus

Site Circulation Network



Site Development Amenities/Sustainability Highlights:

The development of open and landscaped space is an important component to the overall master plan. Kane County places high priority on the designation of green areas on public property and the sustainable approach to stormwater management.

The government parcels both north and south of Rt. 38 will maintain landscaped **buffer zones** adjacent to neighboring residential areas. To the south an approximate **400' deep natural lowland park** featuring native species plantings and stormwater detention swales will separate Bricher Road from the new Adult Justice Center and future Government Complex. It is the goal of the County that no vehicular access will be provided through this area.

On the parcel north of Rt.38, **landscaped berms featuring shrubbery and trees** will provide both a physical and visual barrier between the residential areas to the north and the Records Storage and Fleet Maintenance facilities along Rt. 38.

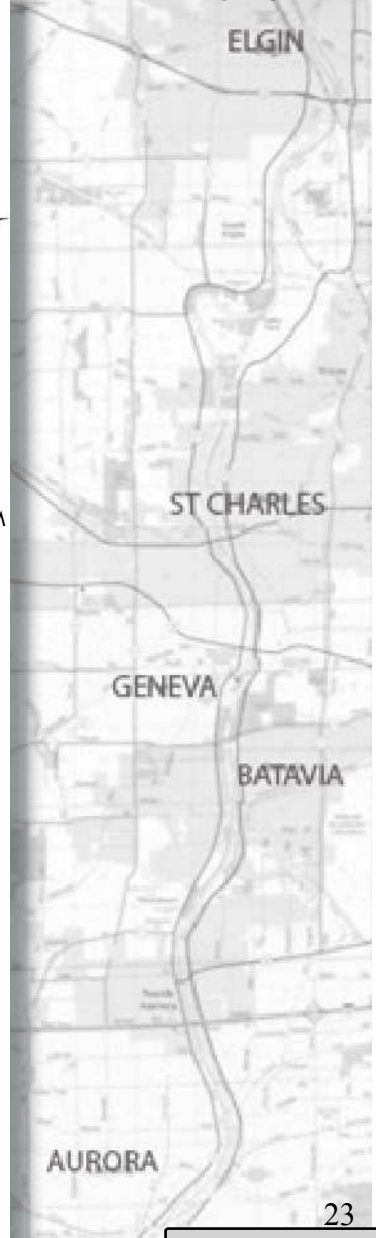
On the main Judicial Center Campus, landscaped berms will similarly screen visibility to the Juvenile Justice Center from the surrounding development. Pedestrian walking and bike paths will be developed throughout the campus taking greatest advantage of these natural areas and encouraging public use of this beautiful county property.

Provision for **public gatherings** are suggested in various locations such as a proposed event plaza or modern-day "**town square**" in front of the Government Complex. Another venue for both indoor and outdoor gatherings would be the **County Public Service Facility** site designated in the northeast corner of the southern parcel along Rt. 38.

The management of site stormwater will follow best practices for natural recapture of rain events and distribution into the native landscape. Recharging local aquifers with naturally filtered and percolated water has been proven to be a more sustainable method of water management than traditional storm sewer system practices.

Site Development Amenities/Sustainability

Stormwater, Landscape, & Public Gathering Spaces



Department Needs Projection

Departmental Space Needs Projection

Population Projection

As part of the master planning process projections have been made for future space needs for all departments within the County. It was agreed that future population growth projections would be used for evaluating staffing growth and projected future facility space needs. The County provided population projection of 800,000 at year 2030 was used as a basis for growth projections. Utilizing a baseline year of 2007 for existing space allocations and a corresponding population of 500,000 a linear growth projection was used to establish short, mid and long-term population targets as follows:

Short-term: 2010 | 533,000 Population Projection
Mid-term: 2017 | 611,000 Population Projection
Long-term: 2030 | 800,000 Population Projection

Space Needs Analysis

Each department was interviewed to gain a better understanding of the operations, needs and future planning parameters such as preferred adjacencies. The departmental summary sheets in this section document the data collected. During the data gathering and interview phase existing space allocations were confirmed and these square footages served as the baseline for future space needs planning. In some cases current space surplus or deficiencies were identified in the interview process and adjustments were made to establish a proper current baseline for use in future projections. Additionally certain departments future space needs did not correspond to a straight line projection tied to population growth and these departments were adjusted with alternate space projection criteria.

The tables on the following pages represent a summary of projected department gross square footage (DGSF) needs for each of the County judicial and non-judicial departments. The values for department gross square footage represent the sum of the various personnel, support, public, storage, and equipment net assignable spaces as well as non-assignable floor area required to enclose, access, and mechanically support the net assignable spaces. In most cases the DGSF is defined by the office "suite" for a particular department and includes all circulation and support space within the suite. For several departments that reside in recently constructed buildings (i.e. Sheriff's Office and Adult Justice Center) a building gross square footage was used which includes all square footage within the exterior building walls. The tables also indicate projections on the building location for each department based on adjacency needs and operational efficiency.



Space Needs Projection:

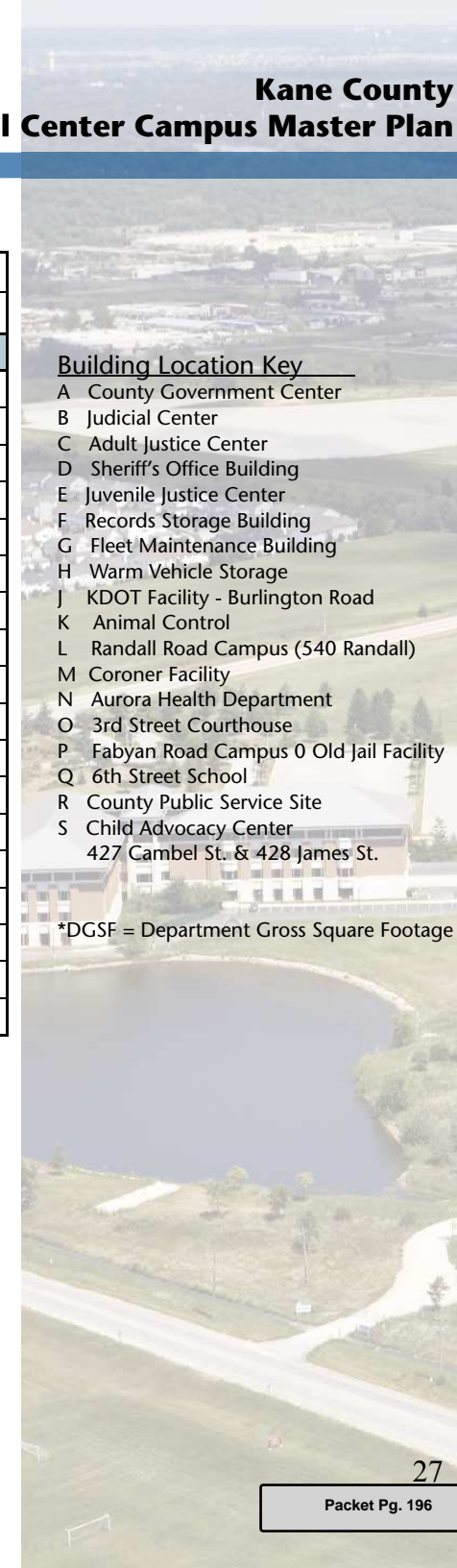
Department	Existing Conditions			Short-Term		Mid-Term		Long-Term	
	Staff Count	DGSF*	Location	DGSF*	Location	DGSF*	Location	DGSF*	Location
Non-Judicial - Total	432	163,175	--	176,186	--	191,640	--	235,309	--
Animal Control	12	10,000	K	10,000	K	10,000	K	13,800	K
Auditor	3	815	A	1,015	A	1,115	A	1,115	A
Coroner	17	3,319	M	3,319	M	6,500	M	6,500	M
County Board ¹	35	6,255	A	6,700	A	7,700	A	10,100	A
County Clerk	37	16,500	A	17,700	A	20,200	A	26,400	A
County Clerk - Storage ²	--	18,600	L	18,600	L	18,600	F	18,600	F
Development	37	7,260	A	7,260	A	7,260	A	7,260	A
Environmental ³	5	3,211	A/Other	3,381	A/Other	4,000	A	5,200	A
Finance	8	2,450	A	2,800	A	3,300	A	4,300	A
Fleet Maintenance ⁴	3	3,500	P	6,550	G	6,550	G	9,100	G
Warm Vehicle Storage ⁵	--	3,500	P	10,400	H	10,400	H	14,400	H
GIS	9	2,890	A	3,100	A	3,600	A	4,700	A
Health Department ⁶	N/A	--	N	N/A	--	N/A	--	6,767	A
Health Department - Aurora ⁷	87	17,264	N	17,264	N	20,892	N	20,392	N
Human Resources	7	1,960	A	2,500	A	2,900	A	3,900	A
Information Technology	38	8,140	A	8,800	A	10,000	A	13,100	A
KDOT Administration	32	13,275	J	13,275	J	13,275	J	13,275	A
KDOT Transportation ⁸	Not Included in Study								
Merit Commission	2	445	A	445	A	445	A	500	A
OEM	3	1,890	A	1,890	A	1,890	A	2,700	Other
Recorder	19	6,213	A	6,213	A	6,213	A	6,300	A
Regional Office of Education	37	10,520	Q	8,000	Q	9,800	A	12,800	A
ROE Storage	--	3,500	Q	3,500	Q	3,500	F	3,500	F
Supervisor of Assessments	21	3,207	A	4,149	A	4,800	A	6,400	A
Training Space (County-Wide)	--	4,325	A/Q	4,325	A/Q	5,400	R or A	7,000	R or A
Treasurer	12	2,975	A	3,200	A	3,700	A	4,900	A
Veteran's Commission	3	740	A	800	A	1,000	A	1,200	A
Water Resources	5	985	A	1,100	A	1,300	A	1,600	A
Multi-Department Storage ⁹	--	5,936	L	6,400	L	7,300	L	9,500	F

Department	Existing Conditions			Short-Term		Mid-Term		Long-Term	
	Staff Count	DGSF*	Location	DGSF*	Location	DGSF*	Location	DGSF*	Location
Judicial - Total	729	543,309	--	587,728	--	655,728	--	1,017,983	--
Adult Justice Center ¹⁰	181	183,400	C	210,400	C	210,400	C	463,550	C
Cafeteria/Kitchen at JC	N/A	9,500	B	10,200	B	11,600	B	15,200	B
CASA	6	2,149	O	2,300	O	2,700	B	3,500	B
Circuit Clerk - Main Operations	121	40,775	L	43,700	L	49,800	B	65,300	B
Circuit Clerk - Main Records	--	14,565	L	15,600	L	17,800	B/F	23,400	B/F
Circuit Clerk - Civil Support	1	870	O	1,000	O	1,100	O	1,400	B
Civil Courts	18	42,144	O	45,100	O	51,500	O	67,500	B
Court Services	40	12,650	B	13,600	B	15,500	B	20,300	B
Criminal Courts	19	73,250	B	78,400	B	89,400	B	117,200	B
Diagnostic Center	11	2,350	P	2,600	P	2,900	B	3,800	B
Dispatch (911 Facility)	20	2,795	A	2,795	A	2,795	A	3,900	Other
Juvenile Justice Center ¹¹	13	70,400	E	70,400	E	102,400	E	112,400	E
Law Library	N/A	5,100	B	5,500	B	6,300	B	8,200	B
Public Defender	45	12,900	B	13,900	B	15,800	B	20,700	B
Sheriff's Office ¹²	91	40,000	D	40,000	D	40,000	D	47,200	D
State's Attorney - Criminal	137	18,700	B	20,100	B	22,900	B	30,000	B
State's Attorney - Civil	10	4,428	O	4,800	O	5,500	B	7,100	B
Child Advocacy Center	16	7,333	S	7,333	S	7,333	S	7,333	S

- Building Location Key**
- A County Government Center
 - B Judicial Center
 - C Adult Justice Center
 - D Sheriff's Office Building
 - E Juvenile Justice Center
 - F Records Storage Building
 - G Fleet Maintenance Building
 - H Warm Vehicle Storage
 - J KDOT Facility - Burlington Road
 - K Animal Control
 - L Randall Road Campus (540 Randall)
 - M Coroner Facility
 - N Aurora Health Department
 - O 3rd Street Courthouse
 - P Fabyan Road Campus 0 Old Jail Facility
 - Q 6th Street School
 - R County Public Service Site
 - S Child Advocacy Center
427 Cambel St. & 428 James St.

*DGSF = Department Gross Square Footage

- 1) Staff Count Includes Board members & space square footages includes board room.
- 2) Represents current storage space allocation at Randall Road Facility for elections equipment.
- 3) Includes SF @ Court Annex in calculations and projections for maintenance group.
- 4) County Sheriff's Fleet (non-KDOT) only - data from 2008 Mercury Associates report.
- 5) Proposed facility to provide vehicle storage for OEM & Sheriff/ other county vehicle storage.
- 6) Includes Health Department Administration, Resources, & Support and Community Health.
- 7) All Health Department groups in Aurora until Administration, Resources & Support and Community Health move out, then just remaining groups
- 8) Needs review conducted by Mercury Associates. 1/2008 report notes future operational needs to be met at existing site once Administration moves out
- 9) Represents aggregate off-site storage for multiple departments (currently at 540 Randall Road Facility).
- 10) Includes all detention and associated support space. All square footages are building gross. Short-term growth assumes build-out of 2 unfinished floors. Long-Term growth allows for addition of 3 housing towers (max. growth ceiling).
- 11) Includes all detention and associated support space for courts, State's Attorney & Public Defender. Square footages noted are building gross.
- 12) All square footages are building gross.





Data Gathering: Existing Conditions

Interview:

April 9, 2008 2:30 P.M.
Pat Perez, Sheriff
David Johnson, Wight & Company

Existing Location:

Fabyan Parkway

Services Provided:

911 and emergency dispatch for 9 police departments and 9 fire districts in County.

Existing Staff Count:

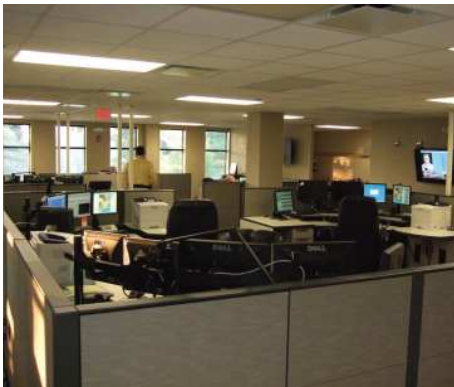
20 for 24/7 facility operation.

Existing Department Gross Square Footage:

2,795

Notes:

- 911 should be co-located with OEM Emergency Operations Center, and could essentially be anywhere that is secure.
- Tri-Com Dispatch center is currently the back-up facility.
- Consolidation with Tri-Com had been pursued and 911 consolidation is a long-range goal.
- Security should be considered in all facilities planned including electronic surveillance, access control and direct security as appropriate.



911 Dispatch

Planning Parameters

Adjacencies:

Required: None
Functional: OEM

Public Interface:

None/Minimal

Factors Driving Growth/Reduction:

Increased federal and state mandates.
Staffing difficulties and cost savings due to economy of scale may force consolidation.

Concepts for Growth:

Consolidate with other Dispatch center to control duplication and staffing shortages.

Projected Needs

Short-Term Needs (1-3yrs):

Relocate 911 dispatch from present location to existing Government Center in order to surplus Fabyan property (Project to be complete Fall 2009).

Mid-Term Needs (3-10yrs):

21 additional staff required.

Long-Term Needs (Planning Horizon):

Explore consolidation options.





Data Gathering: Existing Conditions

Interview:

April 8, 2008 2:30 P.M.
William Keck, Auditor
Scott Sanders, Deputy Auditor
David Johnson, Wight & Company

Existing Location:

Building A, First Floor, Government Center

Services Provided:

Audits to approve/reject claims for payroll and vendors.
Maintains financial records.

Existing Staff Count:

3 Full-Time

Existing Department Gross Square Footage:

815

Notes:

Consideration for incorporating IT Special Auditor for future.



Auditor

Planning Parameters

Adjacencies:

Required: County Clerk

Functional: Finance, IT, Treasurer (most interaction handled over phone/e-mail)

Public Interface:

None

Factors Driving Growth/Reduction:

Workload not directly tied to population growth, rather to enhance or expand county programs or funds.

Concepts for Growth:

Relocate with other administrative, non-public functions or county government.

Projected Needs

Short-Term Needs (1-3yrs):

Filing space

Mid-Term Needs (3-10yrs):

1 additional auditor in 5 years.

2nd additional auditor in 10 years.

Long-Term Needs (Planning Horizon):

Limited/None





Data Gathering: Existing Conditions

Interview:

April 8, 2008 10:15 A.M.
Deborah Seyller, Circuit Clerk
David Johnson, Wight & Company

Existing Location:

540 S. Randall Road County Complex (Primary)
Third St. Courthouse
Judicial Center

Services Provided:

Establish, maintain, and keep all records of Circuit Court.

Existing Staff Count:

121 Full-Time

Existing Department Gross Square Footage:

56,210

Notes:

- Security concerns have been raised at the Randall Road office recently.
- Cross-training other departments' personnel for Circuit Clerk tasks is not seen as viable.
- Current space is generous in some areas, tight in others. Efficiencies could be gained, but storage needs to continue to grow.
- Clerk maintains space at all branches, but all staff has "home base" in Randall Rd. facility.
- Currently there are 27 courtrooms among Judicial Center, 3rd Street, Aurora, Elgin and Carpentersville.



Circuit Court Clerk

Planning Parameters

Adjacencies:

Required: Courts, State's Attorney, Public Defender
Functional: Sheriff, County Clerk, IT, Assessor

Public Interface:

Walk-up windows, Archive reading room.

Factors Driving Growth/Reduction:

Workload directly proportional to Courtroom count - 27 Courtrooms currently.

Concepts for Growth:

Relocate to Judicial Campus, with shared security and public spaces.
Maintain off-site archives in centralized county storage.
Drive-up windows may be functional for some tasks.

Projected Needs

Short-Term Needs (1-3yrs):

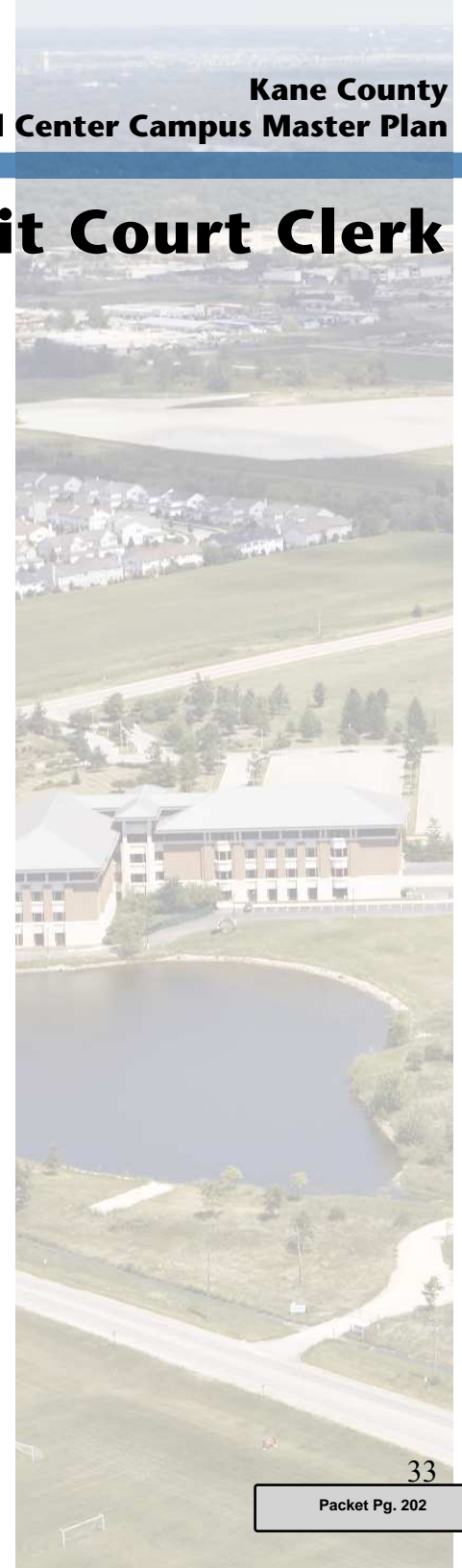
Lobby security.
Emergency power upgrade.
Parking and waiting areas overflow at times.

Mid-Term Needs (3-10yrs):

File storage is currently at capacity. Some additional capacity could be achieved by more efficient layout in near term.

Long-Term Needs (Planning Horizon):

Closer proximity to courts is critical.





Data Gathering: Existing Conditions

Interview:

April 15, 2008 1:00 P.M.
Chuck West, Coroner
Karen Engh, Office Coordinator
David Johnson, Wight & Company

Existing Location:

Coroner Building E, Government Center

Services Provided:

Determines the manner and cause of death in all cases of homicide, suicide, accident, all cases where there was no recent attending physician or where circumstances surrounding the death are obscure or mysterious.

Existing Staff Count:

14 Full-Time
3 Part-Time

Existing Department Gross Square Footage:

3,319

Notes:

- Inquests are held once every 3 weeks which requires use of a courtroom.
- +/- 2,700 cases are handled every year, of which 13% require an autopsy.
- Equipment is 36 years old and inadequate in capacity and features.
- Autopsy room needs to accommodate up to 15 people at times for medical students, law enforcement and others present.
- Security is important in gang homicides.
- Access to (shared) training/court room is necessary.
- Preference for walk-in coolers.



Coroner

Planning Parameters

Adjacencies:

- Required: None
- Functional: County Clerk (Coordination of death certificates)

Public Interface:

- Next-of-kin identification

Factors Driving Growth/Reduction:

- County Population growth
- Similar sized counties have 2 or 3 autopsy suites (Kane has 1)
- 2,700 cases for 500k population, 4,320 for 800k population (Straight Line projection)

Concepts for Growth:

- Construct new facility.
- Separate from other facilities with ease of access for public.

Projected Needs

Short-Term Needs (1-3yrs):

- Outdated, undersized equipment needs replacement
- Emergency backup power for coolers and freezers
- More cooler space, minimum space for 20 bodies
- Second autopsy suite
- Support office space
- Viewing room
- Conference room
- File storage
- Sallyport for unloading - security consideration

Mid-Term Needs (3-10yrs):

- Expanded freezer space for homicide evidence (per statute)
- Cooler space for 32 (based on 800k population and straight line projection)

Long-Term Needs (Planning Horizon):

- Limited (need stabilized)





Data Gathering: Existing Conditions

Interview:
May 7, 2008 11:30 A.M.
Karen McConnaughay
David Johnson, Wight & Company

Existing Location:
Building A, Government Center

Services Provided:
Establish budgets
Levy Taxes
Adopt ordinances
Rules pertaining to the management and business of the county departments

Existing Staff Count:
8 Full-Time
26 Board Members

Existing Department Gross Square Footage:
6,255

- Notes:*
- Existing Board room is adequate in size.
 - Board members should have office cubicle space in new facility, with additional area for administrative support.



County Board

Planning Parameters

Adjacencies:

Required: None
Functional: Finance, HR

Public Interface:

Appointments

Factors Driving Growth/Reduction:

Significant growth not foreseen.

Concepts for Growth:

Relocate with new County Government Center building on Judicial Campus.

Projected Needs

Short-Term Needs (1-3yrs):

Limited growth.

Mid-Term Needs (3-10yrs):

Administrator and Asst. Administrator positions.

Long-Term Needs (Planning Horizon):

Incremental space growth with County growth.





Data Gathering: Existing Conditions

Interview:
April 16, 2008 11:30 A.M.
Jack Cunningham, County clerk
Jay Bennett, Chief Deputy Clerk
David Johnson, Wight & Company

Existing Location:
Building B, Government Center

Services Provided:
Election Commission
Vital Records

Existing Staff Count:
37 Full-Time

Existing Department Gross Square Footage:
16,500 + 18,600 SF for storage at Randall Road facility

- Notes:*
- Security at counters could be improved.
 - Current facility meets department’s needs.



County Clerk

Planning Parameters

Adjacencies:

Required: None

Functional: Assessor, Recorder, Treasurer

Public Interface:

Walk-up counters, genealogy research

Factors Driving Growth/Reduction:

County population growth increases voters, vital records

Concepts for Growth:

Branch locations in Aurora and Elgin desirable for convenience of customers.

Projected Needs

Short-Term Needs (1-3yrs):

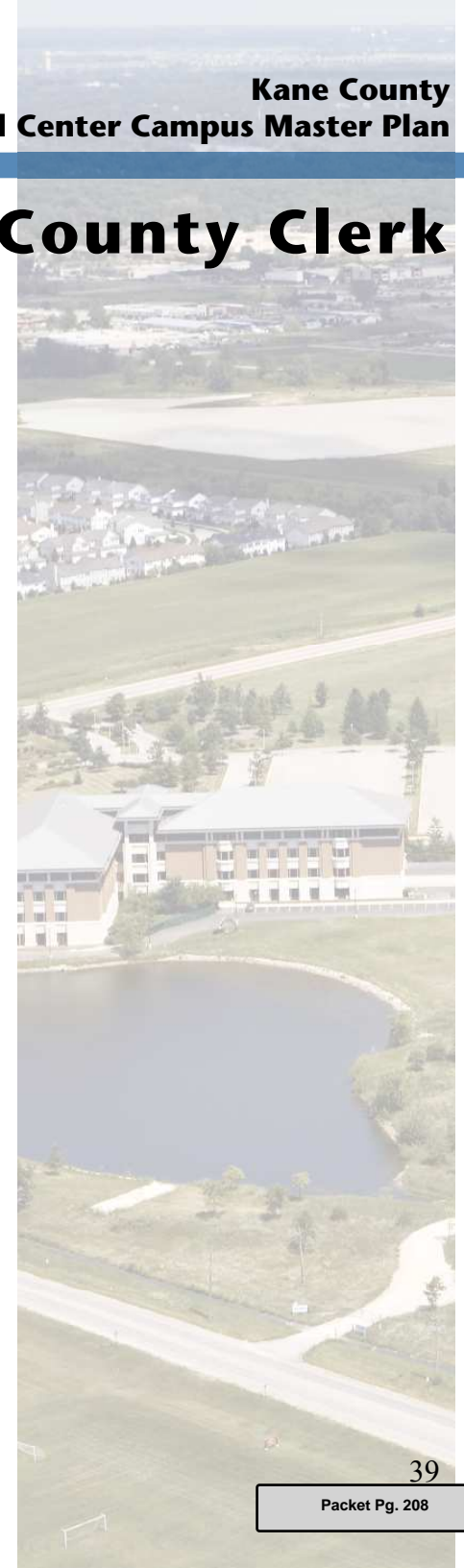
County needs well met by existing space.

Mid-Term Needs (3-10yrs):

Needs driven by population growth/customer service convenience.

Long-Term Needs (Planning Horizon):

Needs driven by population growth/customer service convenience.





Data Gathering: Existing Conditions

Interview:

April 15, 2008 10:15 A.M.
Donald Hudson, Chief Judge
Doug Naughton, Court Administrator
David Johnson, Wight & Company

Existing Location:

Judicial Center
3rd Street Courthouse
Aurora Branch Court
Elgin Branch Court
Carpentersville Branch Court
Diagnostics Center

Services Provided:

Criminal trial service
Civil Relief

Existing Department Gross Square Footage:

73,250 at Judicial Center
42,144 at 3rd Street
2,350 at Diagnostic Center

Notes:

- 27 Courtrooms currently between Judicial Center, Third St. Courthouse, Aurora, Elgin, and Carpentersville.
- Traffic and parking challenges occur on certain days of the week at the Judicial Center Site.
- *Note: In 2009 New Chief Judge Keight Brown implemented improvements in scheduling to reduce traffic problems.*
- Case management software inadequate.
- Secure parking for judges is needed.
- Consolidate Civil and Criminal Courts on Judicial Center Site – improve management and efficiency.
- Electronic or paperless courtroom is not likely in the near term.
- Additional or expanded programs would be possible with more space.
- Need additional exploration of possibility of lesser use of lower level holding cells in Judicial Center with construction and proximity of new jail.
- Need to maintain sallyport at the Judicial Center Site for use by outside agencies.



Circuit Courts

Planning Parameters

Adjacencies:

Required: Jail, Circuit Clerk, State's Attorney, Public Defender, Court Services
Functional: None

Public Interface:

Yes - security screening required

Factors Driving Growth/Reduction:

County population growth
DUI and Domestic Violence are increasing court load

Concepts for Growth:

- Move traffic & misdemeanor court out of Judicial Center – Randall Rd facility was suggested.
- Construct phased additions and renovations to Judicial Center to allow for expansion and consolidation of courts.
- Relocate Law Library.
- Relocate Juvenile court to Juvenile Justice Center (JJC) which will free up dedicated Juvenile waiting area for court use - requires additional court build-out at JJC.
- Explore new planned and secure remote court facilities in the Elgin and Aurora locations preferably near public transportation.

Projected Needs

Short-Term Needs (1-3yrs):

- 2 Courtrooms for DUI and Domestic Violence.
- 1 Courtroom for Drug and Mental Health.
- Increase security screening capacity to expedite screening.

Mid-Term Needs (3-10yrs):

- Construct Phase 2 expansion at Judicial Center and move agencies (State's Attorney, Public Defender, etc.) in to allow additional court rooms to be built out.
- Relocate Circuit Clerk to Judicial Center in Phase 2 expansion.

Long-Term Needs (Planning Horizon):

- Construct Phase 3 by 2020.
- 1 judge per 25,000 residents – 2030 population of 800k would mean 32 judges/courtrooms -27 currently.





Data Gathering: Existing Conditions

Interview:

April 8, 2008 8:30 A.M.
James Mueller, Executive Director
David Johnson, Wight & Company

Existing Location:

Judicial Center -Tri-Cities
Juvenile Justice Center
Elgin Branch Court
Aurora Branch Court
Diagnostics



Services Provided:

Probation services to defendants on juvenile and adult caseloads

Existing Staff Count:

40 Full-Time

Existing Department Gross Square Footage:

12,650 at Judicial Center

Notes:

- Decentralized services serves client well, centralized services is more efficient operationally.
- Diagnostics Center needs to be closer to Jails.
- Expanded Pre-trial Services program (requiring more staff) could reduce jail population.
- Explore options for probation officer to attend court by video conference for efficiency.
- Need for technology that interfaces well with courts and clerks for efficient handling of case data.
- Approximately 6,500 – 8,000 people served by Court Services now.



Court Services

Planning Parameters

Adjacencies:

Required: Courts, Circuit Clerk, Diagnostics Center close to Jail
Functional: State's Attorney & Public Defender

Public Interface:

Waiting room with secure reception
Locate offices near public served (Aurora and Elgin)

Factors Driving Growth/Reduction:

Population – +/- 1% - 1.5% on probation at any one time
Pending legislation to move 17 yr olds to juvenile system
Tougher laws (DUI) & longer probations/sentences
Switch in approach to education and treatment rather than incarceration

Concepts for Growth:

- Expand and relocate staff to Aurora and Elgin branches to accommodate 40% of total staff, reducing space demand at Judicial Center.
- Retain direct court support, administration and special programs at Judicial Center.
- Consider a 3rd branch location in western Kane County for long-term planning.
- Kiosks, home cameras, and other new technologies could reduce officer's time.

Projected Needs

Short-Term Needs (1-3yrs):

Additional offices, waiting area, training room(s) at Judicial Center site area.
Offices at Diagnostic Center.
3 adult, 2 juvenile officers each at Aurora and Elgin, 1 adult, 1 juvenile officer at Tri-City.
Security at Branch locations.

Mid-Term Needs (3-10yrs):

Needs driven by population growth and sentencing/probation policy changes.

Long-Term Needs (Planning Horizon):

Needs driven by population growth and sentencing/probation policy changes.





Data Gathering: Existing Conditions

Interview:
April 8, 2008 3:30 P.M.
Philip Bus, Executive Director
David Johnson, Wight & Company

Existing Location:
Building A, Forth Floor, Government Center

Services Provided:
Development and maintenance of land use and other plans for the county.
Enforcement of such ordinances.



Existing Staff Count:
Transportation – Administration: 32
Transportation – Fleet: Not included in this study
Water Resources: 5 Full-Time
Building & Zoning: 37 Full-Time combined w/ Planning
Planning: Included above
Environmental: 5

Existing Department Gross Square Footage:
7,260 Development
985 Water Resources
3,211 Environmental



Development Department

Planning Parameters

Adjacencies:

Required: Recorder, County Clerk
Functional: None

Public Interface:

Yes

Factors Driving Growth/Reduction:

Permit function, Land-Use and Land Development is shrinking as land is incorporated.

Concepts for Growth:

Public presence in new Administration building on Judicial Campus.

Projected Needs

Short-Term Needs (1-3yrs):

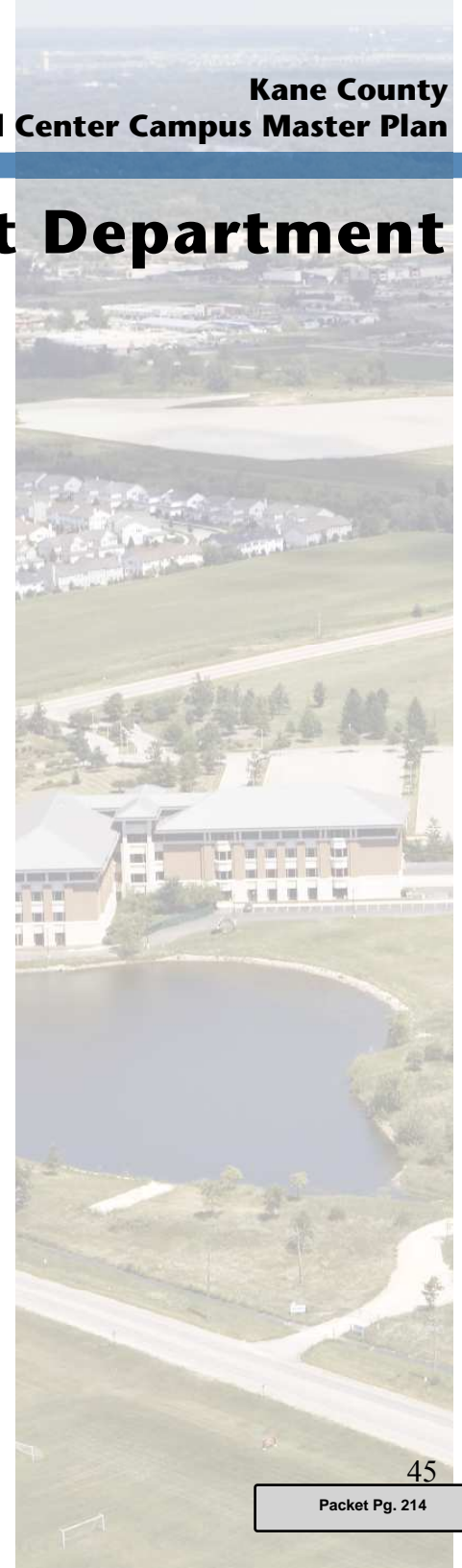
Filing Space

Mid-Term Needs (3-10yrs):

Staffing and space needs growth minimal with reductions in permitting.

Long-Term Needs (Planning Horizon):

Plan for consolidation of all departments into a central location with limited growth.





Data Gathering: Existing Conditions

Interview:

April 16, 2008 10:30 A.M.
Paul Kuehnert, Executive Director
Donald Bryant, Director
David Johnson, Wight & Company

Existing Location:

Old Jail Campus on Fabyan Parkway

Services Provided:

Coordination of Emergency operations
Outreach for emergency preparedness

Existing Staff Count:

3 Full-Time
40 Volunteers

Existing Department Gross Square Footage:

1,890 (office space only)

Notes:

- Desire for access to a training room for training of outside agencies (space could be shared).
- Emergency Operations Center (EOC) includes Staff offices, Situation Room, Radio Room, and Kitchen.
- Need for secondary EOC with remote radio communications vehicle (possibly located with Aurora Health Department location).
- Need OEM vehicle maintenance bay and could share with Sheriff's Fleet Maintenance. 13 vehicles and 4,000 sf pole barn facility currently.
- Volunteers need 24 hour access to and parking near vehicles and supplies, e.g. sandbags.



Office of Emergency Management (OEM)

Planning Parameters

Adjacencies:

Required: Sheriff's 911 Dispatch, Vehicle Maintenance,
Functional: County Government

Public Interface:

Volunteer access to vehicles and supplies

Factors Driving Growth/Reduction:

County population growth increases client base

Concepts for Growth:

Locate near government center for ease of access in emergency situations.
Locate with Fleet Maintenance facility.
Locate centrally in county for ease of access by volunteers.

Projected Needs

Short-Term Needs (1-3yrs):

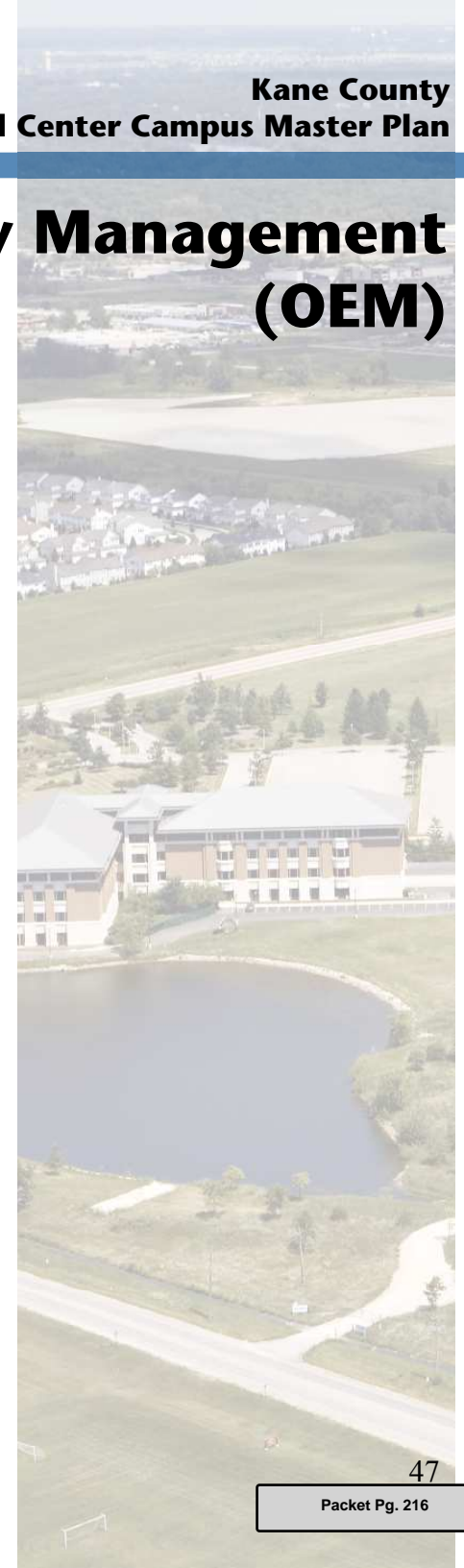
- Relocate Emergency Operations Center from existing location at old jail campus.
Note: OEM and 911 relocated to the Government Center, Summer 2009.
- Move OEM vehicles to new location (projected to be co-located with Sheriff's vehicle fleet and maintenance).
- Additional file storage needed.

Mid-Term Needs (3-10yrs):

Limited / None

Long-Term Needs (Planning Horizon):

Consider office and full-time staff expansion





Data Gathering: Existing Conditions

Interview:
April 8, 2008 1:30 P.M.
Cheryl Pattelli, Director
David Johnson, Wight & Company

Existing Location:
Building A, Third Floor, Government Center

Services Provided:
Creating and maintaining all necessary systems and procedures to control the financial affairs of the County.



Existing Staff Count:
6 Full-Time

Existing Department Gross Square Footage:
2,450

Notes:
Finance Department and Purchasing Department are currently on separate floors. A consolidated location would be ideal.



Finance

Planning Parameters

Adjacencies:

Required: Auditor, Treasurer
Functional: Payroll, Human Resources

Public Interface:

None

Factors Driving Growth/Reduction:

Workload indirectly tied to population growth

Concepts for Growth:

- Relocate to new consolidated Government Center at Judicial Campus, with shared security and public spaces.
- Occasional use of shared conference space for training.

Projected Needs

Short-Term Needs (1-3yrs):

Conference Room for Bid Openings

Mid-Term Needs (3-10yrs):

Incremental growth as County grows

Long-Term Needs (Planning Horizon):

Incremental growth as County grows





Data Gathering: Existing Conditions

Interview:

April 8, 2008 1:30 P.M.

Paul Kuehnert, Executive Director; Barbara Jeffers, Director of Resource and Support; Michael Isaacson, Community Health; Bev Lopez, Executive Assistant; Theresa Heaton, Family Health Director; David Johnson, Wight & Company

Existing Locations:

1240 Highland, Aurora
1330 Highland, Aurora
Elgin Branch



Services Provided:

- Animal Control (not addressed in this study - new facility constructed in 2007).
- Office of emergency Management (addressed in separate notes).
- Community Health - health promotion, smoking cessation, nutrition, epidemiology-tracking health status, health access support.
- Health Protection - Emergency response coordination, water, food, sanitary and air quality concerns, communicable diseases, permitting functions.
- Division of Family Health - Work with families with pregnant women or children that are on medicare, health and well-being of children birth to 5-years old, guidance to childcare facilities, foster families, home-based service to families with NICU babies.
- Resource Support - County employee support, labor management, finance, personnel, training, and grants.

Existing Staff Count:

134 Full-Time (87 in Aurora, 47 in Elgin)

Existing Department Gross Square Footage:

17,264 at 1240 Highland, Aurora
5,103 at 1330 Highland, Aurora (space being vacated)
10,462 at S. Grove , Elgin (combined)



Notes:

- Consolidate both Aurora locations into remodeled 1240 Highland.
Note: Consolidation to be completed Summer 2009
- Desire for web seminar training room to broaden outreach and collaboration.
- Consideration of public/private collaboration to broaden outreach without directly increasing staff.
- Could possibly make use of a centralized county records archive space.
- 1240 building interior layout not ideal for collaborative work environment and organized public service.

Health Department

Planning Parameters

Adjacencies:

Required: None

Functional: Administration to other county administration, Health Protection – with County Government near Development Department.

Public Interface:

Health services/training at Branch locations and home visits.

Factors Driving Growth/Reduction:

County population growth increases client base and addition of special programs requires additional staff.

Concepts for Growth:

- Relocate administrative, community health and resources and support to new consolidated Government Center at Judicial Center Site.
- Consolidate Aurora locations into one building.
- Establish public health service branch in tri-cities area.

Projected Needs

Short-Term Needs (1-3yrs):

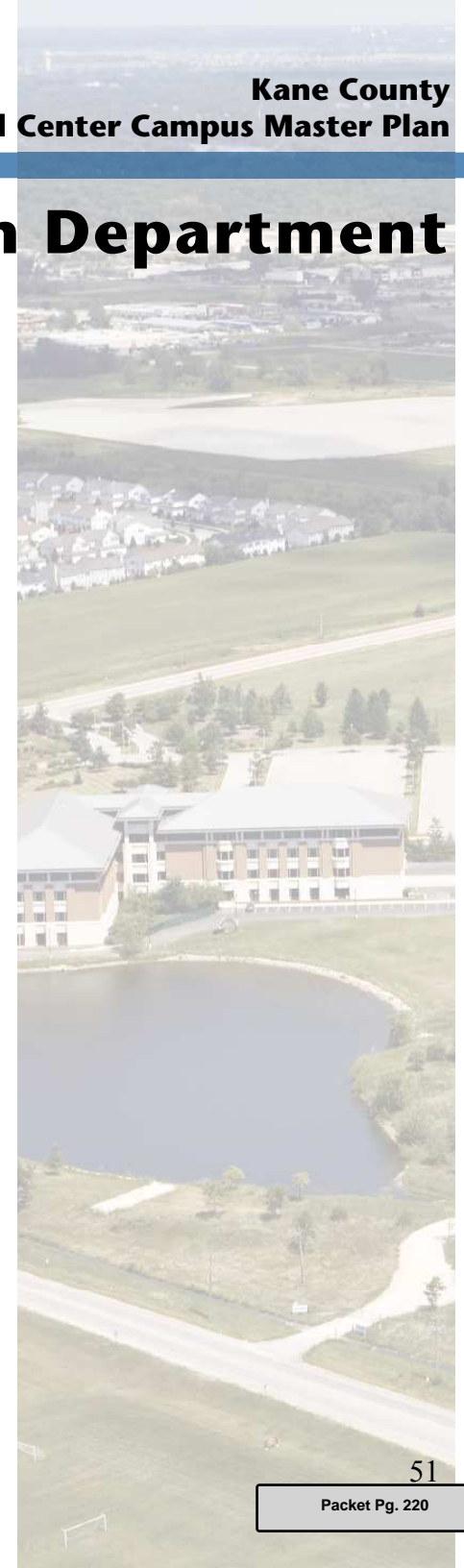
- Employee break area inadequate.
- Consolidation of 1330 Highland Building functions into 1240 Highland Building (completed summer 2009).

Mid-Term Needs (3-10yrs):

- Large Conference (200) for education/training and immunizations.
- Possible renovation/expansion or re-construction of 1240 Highland building for better operation and to address needs.

Long-Term Needs (Planning Horizon):

- Health Dept. Projected potential staff count of +/-169 FTEs at 2050 planning horizon.
- Consider Tri-Cities and/or Western Kane County service center locations potential for customer service.
- Relocate Health Department administration, community health and resources and support to Judicial Center site for adjacency to County government operations.





Data Gathering: Existing Conditions

Interview:
April 16, 2008 2:30 P.M.
Sheila McCraven, Director
David Johnson, Wight & Company

Existing Location:
Bldg A, Government Center
Elgin, Aurora, Yorkville, Dekalb branches

Services Provided:
Develop, implement and administer Kane County’s employment policies, practices, procedures, employee benefits, payroll, and job training.

Existing Staff Count:
7 Full-Time in HR Management
26 Full-Time in Employment + Education (KCDEE)

Existing Department Gross Square Footage:
1,960 @ Government Center



Human Resources Management

Planning Parameters

Adjacencies:

Required: None
Functional: County Board, Auditor, Finance, Treasurer

Public Interface:

HR management
Job applicants for county postings

Factors Driving Growth/Reduction:

County staff growth
County population growth (KCDEE)

Concepts for Growth:

Near shared conference center space, as department hosts large (100+) conferences and smaller 'brown bag' events.

Projected Needs

Short-Term Needs (1-3yrs):

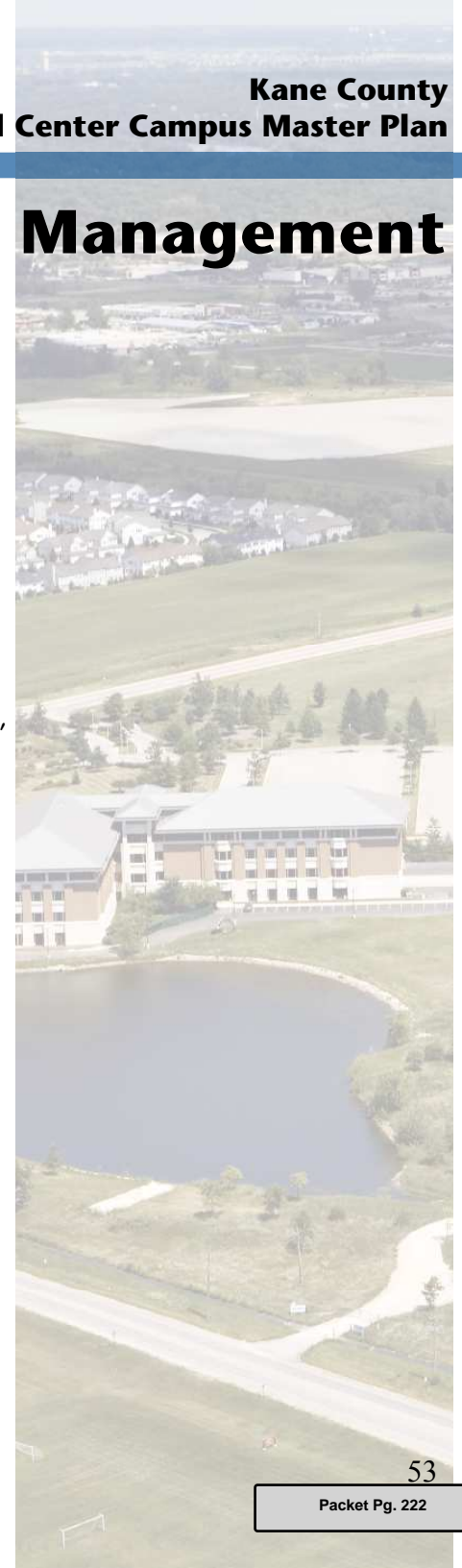
- 2-3 staff positions
- Walk-up counter with waiting room
- File storage

Mid-Term Needs (3-10yrs):

Limited growth based on County staff and population increase.

Long-Term Needs (Planning Horizon):

Limited growth based on County staff and population increase.





Data Gathering: Existing Conditions

Interview:

April 8, 2008 1:30 P.M.
and April 15, 2008 8:30 A.M.
Roger Fahnestock, Chief Information Officer
Tom Nicoski, GIS Director
Bill Lake, IT Financial Officer
David Johnson, Wight & Company

Existing Locations:

I.T. - Building B, Government Center
GIS Technologies – Building C, Government Center

Services Provided:

Establishes and maintains technology standards.
Provides countywide technology planning and support.
Provides mapping and GIS support functions.

Existing Staff Count:

38 Full-Time in I.T.
9 Full-Time in GIS

Existing Department Gross Square Footage:

8,140 – IT
2,890 – GIS

Notes:

- Centralized department is good model.
- Reduced equipment size in future would allow Judicial Center basement Data Center to handle increased capacity in future.
- County should invest heavily in records imaging to reduce paper storage.
- County should consider options for leasing data center space for future data center expansion as opposed to constructing new.
- All phones are VOIP for ease of portability.
- Shared access to a training space would be beneficial for IT training activities of +/- 12 people at a time.
- I.T. Group could benefit from central shipping and receiving area to take larger equipment orders, and would like to have a computer setup/small repair area adjacent to such a location.



Information Technologies Department

Planning Parameters

Adjacencies:

Required: GIS - Recorder and Supervisor of Assessments
Functional: IT - County Government for Support

Public Interface:

GIS distributes maps to public.
Walk-up counter for interdepartmental interface.
IT does not have regular public interface.

Factors Driving Growth/Reduction:

County staff growth increases I.T. workload for support.
More staff requires more resources and facilities.

Concepts for Growth:

Remote Data Center, e.g. NIU to backup Judicial Center Data Center.
Create copy/print center for all departments possibly tied to GIS area.
Keep all I.T. staff consolidated in one location.

Projected Needs

Short-Term Needs (1-3yrs):

Meeting/planning space.
Private offices for concentration.

Mid-Term Needs (3-10yrs):

Shipping/receiving area.
Incremental office space growth based on County population growth.

Long-Term Needs (Planning Horizon):

Needs driven by county staffing growth and increased technology usage.





Data Gathering: Existing Conditions

Interview:

April 9, 2008 1:00 P.M.
Dave Kliment, Public Defender
David Johnson, Wight & Company

Existing Location:

Judicial Center
Juvenile Justice Center

Services Provided:

- Legal representation to indigent persons charged with criminal offenses or whose rights as parents are in jeopardy
- Legal representation to persons charged with traffic offenses, misdemeanors, felonies, abuse and/or neglect of children cases, and juveniles accused of crimes

Existing Staff Count:

45 Full-Time – 35 lawyers, 4 investigators, 6 support

Existing Department Gross Square Footage:

12,900 at Judicial Center

Notes:

- Security concerns.
- Preference for private offices over workstation cubicles for privacy and better work efficiency. Currently renovating existing space to create private offices in lieu of cubicle workstations.
- PD does not have need for 2nd floor Law Library. They retain a small physical law Library in their office space which is adequate and access case research by computer.
- Archives could be remote.
- Attorneys in Juvenile Justice Center are located there for separation of multiple defender division for conflict resolution. In future this could be addressed in the same office area if needed.
- If Public Defender is needed in a branch court, the case is transferred to the Judicial Center. There is no plan to locate Public Defender to branch courts at this time.



Public Defender

Planning Parameters

Adjacencies:

Required: Courts, Jail, Circuit Clerk
Functional: State's Attorney, Court Services

Public Interface:

Waiting Room with secure reception.
Most public interaction is by appointment.

Factors Driving Growth/Reduction:

Staffing increases and space growth tied to population increases.

Concepts for Growth:

Expand public defender office space as part of Judicial Center future expansion and maintain adjacency to other court agency office space.

Projected Needs

Short-Term Needs (1-3yrs):

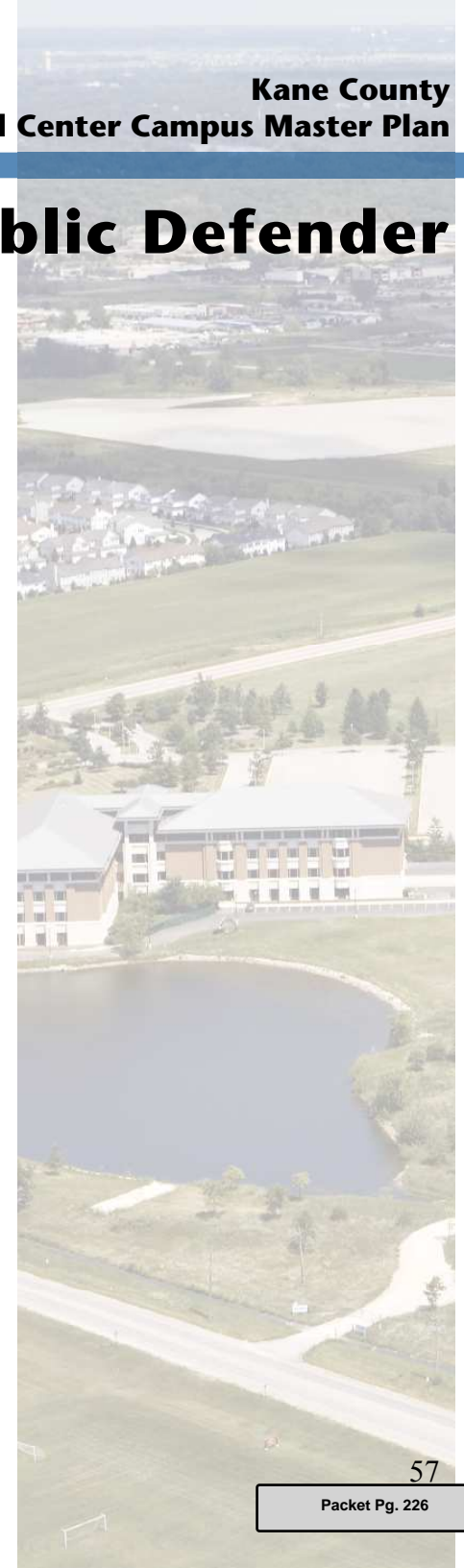
Has 35 attorneys, and PD represented ideal would be 42
Larger waiting area
Filing storage
Central workroom

Mid-Term Needs (3-10yrs):

Needs driven by population growth and case load.

Long-Term Needs (Planning Horizon):

Needs driven by population growth and case load.





Data Gathering: Existing Conditions

Interview:

May 14, 2008 9:30 A.M.
Sandy Wegman, Recorder
David Johnson, Wight & Company

Existing Location:

Building C, Basement and limited First Floor, Government Center

Services Provided:

Receives and records original property instruments in the county's permanent archive of land titles and ownership records.

Existing Staff Count:

19 Full-Time, down from 30 in 2006

Existing Department Gross Square Footage:

6,213 (consolidation completed in Winter 2008 to reduce space)

Notes:

- Significant reduction in staff count, office size, and public interface due to innovative technology implementation in last two years.
- Digital and off site permanent record storage.
- Satellite locations may not be sufficiently used by public due to online access capability.
- Entire database is searchable online.
- Office has vacated most of the first floor due to staff attrition and visitor reductions. Staff has not been replaced due to efficiencies realized through technology applications.



Recorder

Planning Parameters

Adjacencies:

Required: None

Functional: Clerk, Assessor, Treasurer

Public Interface:

Counter and records research room.

Factors Driving Growth/Reduction:

Workload indirectly tied to population growth.

Concepts for Growth:

Relocate to consolidated Government Center at Judicial Center Site, adjacent to other public counters.

Occasional use of shared conference center space.

Projected Needs

Short-Term Needs (1-3yrs):

Office is consolidating in the Basement and vacating First Floor.

Mid-Term Needs (3-10yrs):

Limited/No identified needs

Long-Term Needs (Planning Horizon):

Limited/No identified needs





Data Gathering: Existing Conditions

Interview:

May 28, 2008 9:30 A.M.

Doug Johnson, Superintendent; Phil Morris, Dir. of IT; Harrison Schneider, Assoc. Regional Superintendent; Julie Vallejo, Assistant Superintendent; David Johnson, Wight & Company

Existing Location:

Sixth Street, Geneva

Services Provided:

Responsible for the overall supervision and control of the region's nine public school districts. Promotes quality education for the citizens of the Kane County Educational Service Region by acting as an advocate for education, providing leadership, performing regulatory functions as directed by the Illinois State Board of Education and Illinois State Code, providing access to needed resources, and disseminating information to school districts, educators, and community.

Existing Staff Count:

31 Full-Time @ Sixth Street School

5 Full-Time @ Juvenile Justice Center

Existing Department Gross Square Footage:

10,520 Department gross office space at 6th Street School

2,600 Training rooms gross area at 6th Street School

3,500 Storage (Gym) at 6th Street School

Classroom space at Juvenile Justice Center (square footage counted elsewhere)



Notes:

- Hosts training for public, various County departments and educators. These training sessions occur before, during and after regular office hours and on Saturdays.
- Three general training rooms accommodating 25 persons each and one computer training lab accommodating 20.
- Off site facilities for large training activities are rented on as-needed basis.
- Very aggressive in procuring funding for training and other programs and is a state model in many of these areas.
- Some state-mandated record archives could be off-site.
- Old school existing floor plan make for less efficient usable office space as compared to gross building area (large stairs and corridors).
- Existing storage space not fully utilized.

Regional Office of Education

Planning Parameters

Adjacencies:

Required: None
Functional: None

Public Interface:

Yes, heavy demand at times

Factors Driving Growth/Reduction:

Student population growth fuels program growth.
State and federal mandated programs.
School districts' reliance on Regional Office of Education for specialized training is growing.

Concepts for Growth:

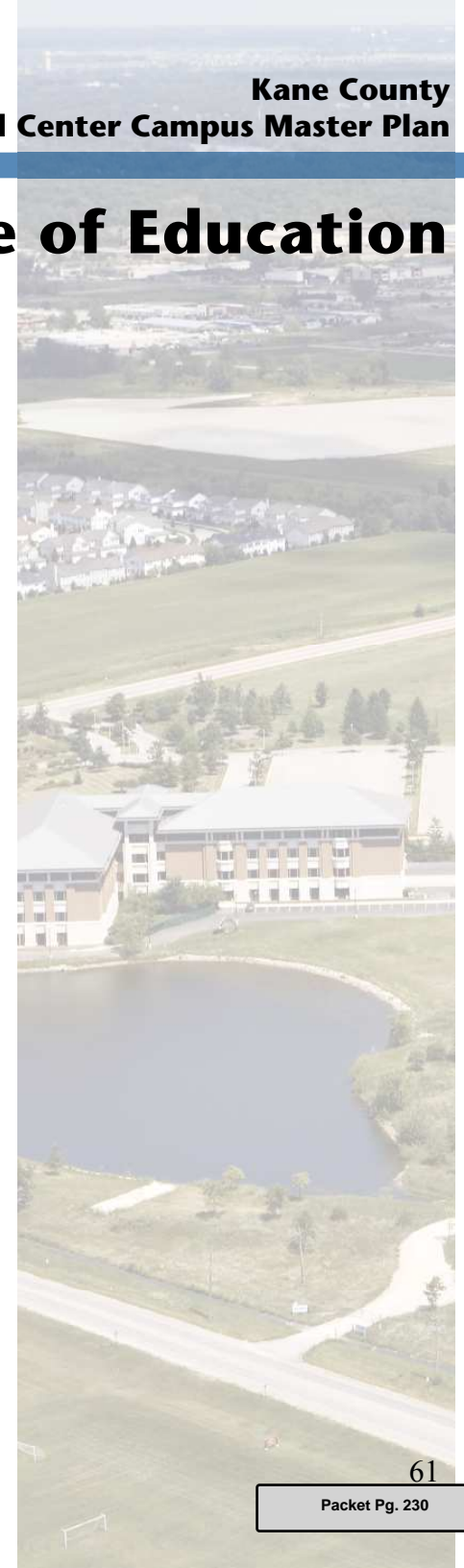
Locate department adjacent to shared conference space with direct exterior access.

Projected Needs

Superintendent's statement regarding future needs:

"As the need for our services continues to grow because of population growth and ever increasing state and federal mandates, we can predict the continued need to add staff and facility space for administrative, meeting, and training purposes. The office's capacity to secure future funding through grants is directly related to our capacity to continue to provide and expand these services.

This past year the Kane County Regional Office for Education conducted and facilitated over 276 trainings and workshops for Kane County government and school district personnel. Our training rooms are utilized approximately 65% of the time, but on many days all rooms are being utilized. They are also utilized on many evenings and Saturdays."





Data Gathering: Existing Conditions

Interview:

April 9, 2008 10:15 A.M.

John Barsanti, State's Attorney; Clint Hull, Asst. State's Attorney; David Johnson, Wight & Company

Existing Location:

Judicial Center
Juvenile Justice Center
3rd St. Courthouse
Elgin Branch Court
Aurora Branch Court
Government Center – Bldg A.
Child Advocacy Center

Services Provided:

Responsible for prosecuting every violation of state law occurring in Kane County.
Attorney services for every county elected official in relation to legal issues that arise in their official duties.

Existing Staff Count:

139 Full-Time - 59 Attorneys, 4 Investigators, 74 Admin

Existing Department Gross Square Footage:

18,700 at Judicial Center
4,428 at 3rd Street Courthouse

Notes:

- Branch location operations are efficient and not an administrative hardship. Branch locations provide important community interface; e.g. for orders of protection.
- Ideally all staff would be in the Judicial Center.
- Requires only a small physical library with their space as most legal research is accessed through computer.
- Central storage area is only large enough for about 200 of the 4,000 open felony files. It is too small for closed cases, and open cases are currently decentralized into offices.
- Archives are stored at Randall Road facility.
- Does not have need for 2nd floor Law Library. It is generally used by private attorneys.
- Keeping active files in offices is reasonable with other active and recent inactive files in central file area.
- Closed files can be stored off-site if reasonably accessible.
- Grand Jury Room slightly over-sized due to reduction to 16 grand jurors.
- Municipalities moving to more ordinance violation charges will lessen case load some.

State's Attorney

Planning Parameters

Adjacencies:

Required: Courts, Jail, Circuit Clerk (Critical for expediting cases)
Functional: None

Public Interface:

Waiting Room with secure reception.
Most public interaction is by appointment.

Factors Driving Growth/Reduction:

Population - increase in DUI and domestic violence cases.
Project a 1:1 correspondence in staff growth with population growth.

Concepts for Growth:

- Decentralize traffic courts with more branch courts around the county, reducing congestion at Judicial Campus.
- Preference to keep Attorneys and support staff along with files at locations where the court proceedings occur for operational efficiency.
- Short-Term Expansion Option - Expand into Law Library, reconfigure State's Attorney Library
- Address space considerations in Juvenile Justice Center expansion with future build-out of courtroom and housing expansion.
- Long-Term plan includes expansion of State's Attorney office space as part of Judicial Center expansion and maintain adjacency to other court agency offices.

Projected Needs

Short-Term Needs (1-3yrs):

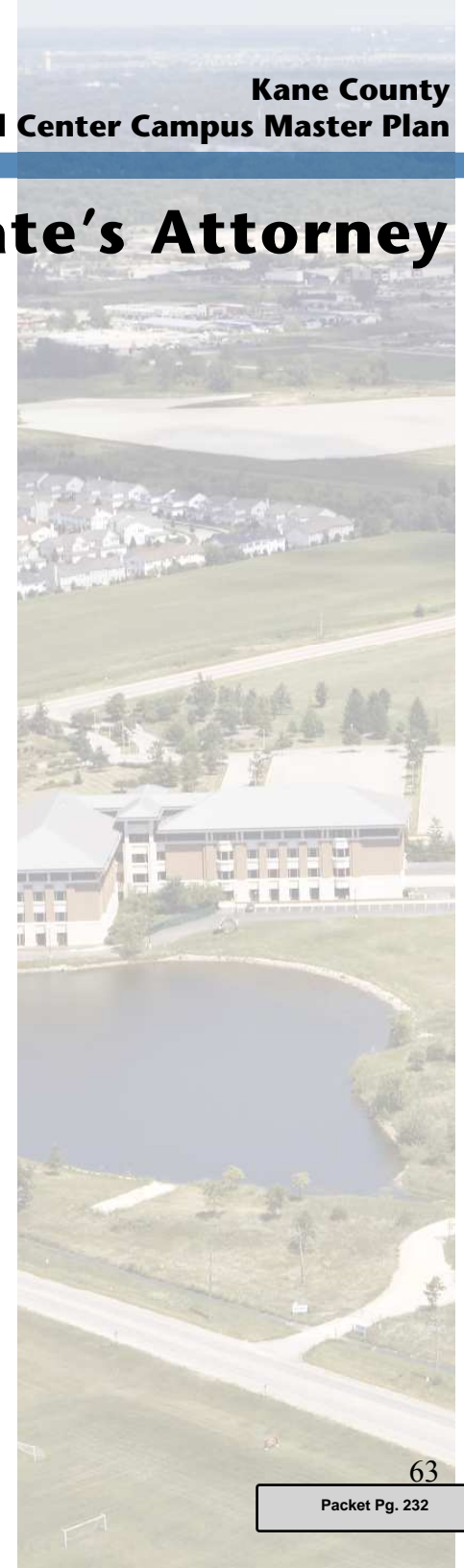
Additional offices for attorneys
Conference spaces – these have all been converted to offices

Mid-Term Needs (3-10yrs):

5 years – projected approximately 18 additional staff required
10 years – additional 36 staff (over 2008 base)
Exhibit prep room for court exhibits

Long-Term Needs (Planning Horizon):

For 1 million population - 23 more attorneys and 35 more support staff over 2008.
Double the current space req'd
Segregated parking from public





Data Gathering: Existing Conditions

Interview:
April 16, 2008 1:30 P.M.
Mark Armstrong, Supervisor of Assessments
Holly Winter
David Johnson, Wight & Company

Existing Location:
Building C, Government Center

Services Provided:
Property Assessment Process
Homestead Exemptions
Cadastral Maps
Board of Review

Existing Staff Count:
18 Full-Time
4 Seasonal
3 Board of Review + 2 Part-Time

Existing Department Gross Square Footage:
3,207

- Notes:*
- Disabled resident exemption requires accessible approach upgrade.
 - State may eliminate township assessor function; would dramatically impact county office.
 - Currently 196,000 tax parcels in county.
 - Board of Review conducts daily hearings October through March.
 - Call-in hearings for BOR, internet in future.



Supervisor of Assessments

Planning Parameters

Adjacencies:

Required: County Clerk, Treasurer, Recorder
Functional: GIS, Development

Public Interface:

Senior exemption, disabled exemption applicants, Board of Review complaints and mapping requests

Factors Driving Growth/Reduction:

County Population growth increases parcel count.
Legislative initiatives increase workload.

Concepts for Growth:

- Locate in public “mall” within a new Government Center Building at the Judicial Center Site with Treasurer, County Clerk, and Recorder.
- Provide a drive-up facility, perhaps shared by these departments.

Projected Needs

Short-Term Needs (1-3yrs):

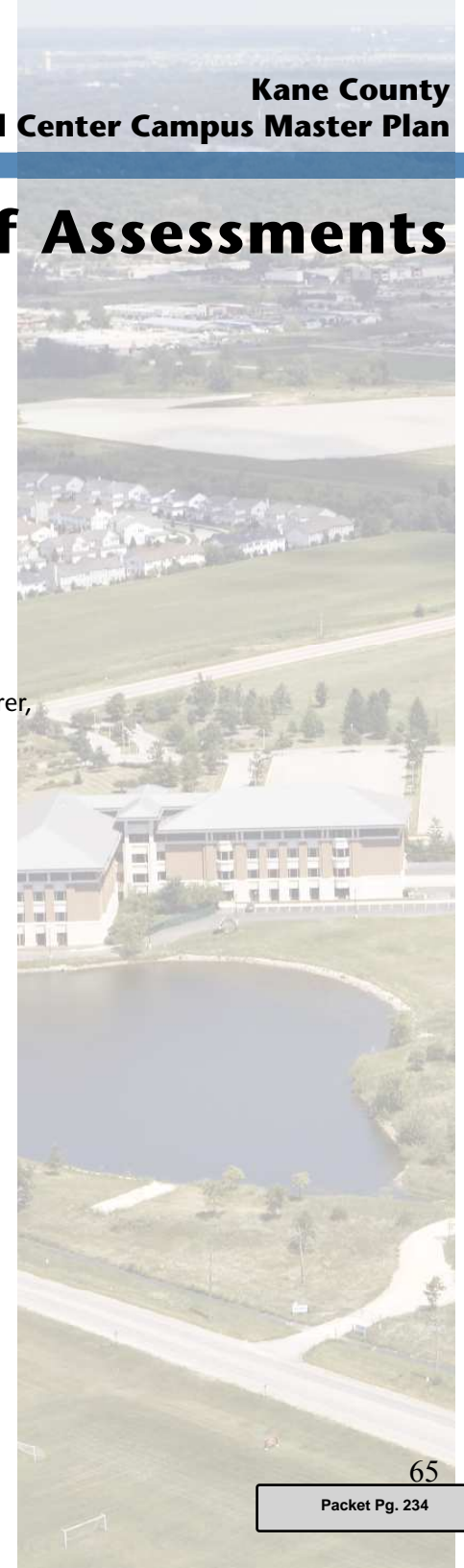
4 additional staff
Board of Review (October through March) waiting area
Additional conference for 12
Additional file storage
Additional office space

Mid-Term Needs (3-10yrs):

Needs driven by population growth

Long-Term Needs (Planning Horizon):

Needs driven by population growth





Data Gathering: Existing Conditions

Interview:
April 15, 2008 2:30 P.M.
David Rickert, Treasurer
David Johnson, Wight & Company

Existing Location:
Building A, Government Center

Services Provided:
Receive and safely keep the revenue and public monies of the County, including property tax payments.



Existing Staff Count:
9 Full-Time
3 Part-Time

Existing Department Gross Square Footage:
2,975

- Notes:*
- Technology has allowed the staff counts to remain constant while the workload has doubled in recent years.
 - Property taxes are collected at banks and over the internet in addition to mail-in and in person.
 - Need convenient parking and access for customers.
 - Like concept of “banking model” for customer transactions.
 - Bring on part-time help during peak tax payment times in summer.



Treasurer

Planning Parameters

Adjacencies:

Required: County Clerk, Supervisor of Assessments, Recorder
Functional: Finance Director and Auditor

Public Interface:

Tax Payments

Factors Driving Growth/Reduction:

County population growth increases tax bill quantity.
Staffing might increase to 24 people at planning horizon

Concepts for Growth:

- Locate in common space with Supervisor of Assessments, County Clerk and Recorder for “one-stop-shop” public interface model.
- Provide a drive-up facility, perhaps shared by these departments.

Projected Needs

Short-Term Needs (1-3yrs):

Data storage
More secure vault space

Mid-Term Needs (3-10yrs):

Incremental growth as County population grows

Long-Term Needs (Planning Horizon):

Drive-up teller facility
Incremental growth as County population grows



Future Implementation Strategies

Future Implementation Strategy

The Judicial Center Campus Master Plan has been developed to allow for incremental implementation with flexibility in planning addressing the certainty of change that occurs as long-term projects unfold. This section of the master plan illustrates key components to the implementation on a quadrant by quadrant basis but the order of projects here is not based on priority of need or preferred sequence of execution. Each quadrant has a primary focus and specific operational function that has particular issues related to project implementation.

In general, the development quadrants are organized in a manner that makes their function obvious and provides opportunity for clear representation to the public visiting the campus. More customer focused quadrants such as the Government Center Quadrant have been planned to respond to customer needs in a convenient way with a clear sense of entry and readily accessible parking. The Judicial Center, Adult Justice and Juvenile Justice Quadrants all have existing building and site infrastructure in place with expansion plans that will require localized site and infrastructure modifications.

The eastern portion of the site defined as the Government Center Quadrant and the North Annex will both require greater site development infrastructure improvements including new site access from Route 38 as part of their implementation. It is recommended that the predominant site infrastructure be established with full build-out in mind as part of the initial implementation phase of any work. By constructing the primary road and utility network and stormwater management areas at the outset, additional building area and parking can be added incrementally as the projected needs are realized in the future.

As the space needs materialize in future years, the County has the ability to address the needs through the phased implementation of the master plan. By constructing additions and new buildings in stages with shell expansion space projects can be implemented in manageable increments. Additionally, the existing 540 S. Randall Road building presents the County with flexibility for swing space to address incremental space needs as they arise.



Long-Term Space Needs Summary

Long-term space needs projections were used to plan the future full build-out of the Judicial Center Campus. By totaling the Departmental Gross Square Footage (DGSF) space needs of all County departments and assigning building locations for each based on preferred operational adjacency we are able to establish long-term projections on building size. The table on the following page represents this summary of DGSF and applies a building grossing factor to establish a total Building Gross Square Footage (BGSF). The noted grossing factor accounts for all non-assignable space including exterior wall thickness, common public circulation area, public restrooms, stairwells, elevators, and mechanical spaces.

In developing the master site plan these BGSF numbers for each building were used as a planning tool to ensure that adequate space is set aside to comfortably accommodate the building and the associated parking needs. The total numbers here are not a definitive statement on building size, but rather a current projection that will need to be revisited in more detail on a building by building basis through detailed programming once a specific building project is implemented in the future.

Long-Term Space Needs Summary

Tag	Building	Current	Long-Term Needs Projection		
		Total DGSF	Total DGSF	Grossing Factor	Total BGSF
A	County Government Center ¹	70,456	129,817	1.30	168,800
B	Judicial Center (Total)	132,100	383,600	1.36	521,700
	<i>Judicial Center (Existing Building)</i>	<i>132,100</i>	<i>132,400</i>	<i>1.36</i>	<i>180,100</i>
	<i>Judicial Center (Court Agency Wing)</i>	<i>N/A</i>	<i>180,200</i>	<i>1.36</i>	<i>245,100</i>
	<i>Judicial Center (Civil Court Wing)</i>	<i>N/A</i>	<i>71,00</i>	<i>1.36</i>	<i>96,600</i>
C	Adult Justice Center (AJC) *	183,400	463,500	1.00	463,550
D	Sheriff's Office Building *	40,000	47,200	1.00	47,200
E	Juvenile Justice Center (JJC) *	70,400	112,400	1.00	112,400
F	Records Storage Warehouse ²	N/A	25,620	1.20	30,700
G	Fleet Maintenance Building	N/A	9,100	1.18	10,700
H	Warm Vehicle Storage	N/A	14,400	1.15	16,600
J	KDOT Facility - Burlington Road ³	13,275	Future needs assumed to be met at current location		
K	Animal Control *	10,000	13,800	1.00	13,800
L	Randall Road Campus (540 Randall) ⁴	73,940	0	1.00	0
M	Coroner Facility	3,319	6,500	1.20	7,800
N	Aurora Health Department	17,264	20,392	1.35	27,500
O	Third Street Courthouse	49,591	Facility Vacated - Surplus Space		
P	Fabyan Road Campus - Old Jail Site ⁵	9,350	Facility Vacated - Surplus Space		
Q	Sixth Street School	16,620	Facility Vacated - Surplus Space		
R	County Public Service Site	N/A	7,000	1.25	8,800
S	Child Advocacy Center ⁶	7,333	7,333	1.00	7,333

* All square footages noted are total building gross rather than department gross

¹ Current DGSF includes buildings A, B, C, D, E. Long-term SF assumes new consolidated facility at Judicial Center Site

² Long-term planning of Records Management Building needs further review

³ Current DGSF only represents existing administrative space at the site to be relocated to County Gov. Center in future
Operational facilities needs assumed to be met at existing site once Administration moves out

⁴ Current DGSF represents used space only - additional available space exists

⁵ Current DGSF represents active uses remaining at the site (Fleet Maintenance, Warm Storage, and Diagnostic Center)

⁶ Space in two existing buildings assumed to remain in future



Budget Cost Assessment

The following cost projections are presented in 2009 dollars and due to the uncertain timing of the execution of the various contemplated projects and the uncertainty of future market conditions, are not intended to be a projection of the actual cost at the time of construction. The costs are intended to give general guidance for future budgeting purposes, but prior to establishing a formal project budget, these cost ranges should be escalated to current year dollars and further verification of the facility size should be conducted.

At this early planning stage, costs are presented as a range of project cost per square foot. In future design phases, further refinement of the scope and quality of the projects will yield a more finite cost projection. In determining total project costs, values have been included for building hard construction costs, site development costs, soft costs, land acquisition costs and furniture, fixtures and equipment (FF&E), and contingency allowance. Costs for computers, phone and other rapidly depreciating user equipment are not included.

Building Hard Costs

Material and labor costs of all trade contract work for the construction of the building including general conditions expense and labor for field supervision personnel in construction.

Site Development Costs

Material and labor costs of all trade contract work for the construction of the site improvements including surface parking, site utilities, mass grading, stormwater detention, landscaping, and hardscaping.

Soft Costs

Professional services fees of design and construction management, insurance, bonds, survey, geotechnical, testing, legal and other supportive consulting costs.

Land Acquisition Costs

Costs of securing land for project development. All projects noted here are assumed to have no land acquisition costs.

Furniture Fixtures and Equipment Costs

Cost allowance for building furniture, moveable fixtures and equipment (excluding computers and other rapidly depreciating equipment).

Contingency

Project cost allowance for items unknown at this early stage of project planning and unforeseeable costs that occur on projects. Contingencies used in these values range from 5% at the low cost end to 10% on the high cost end.

Budget Total Project Cost Assessment

Tag	Building	Current Total DGFSF	Long-Term Projected Total BGFSF	New or Renovated Square Footage	Project Cost Projection			
					Low Range		High Range	
					Cost/SF	Cost	Cost/SF	Cost
A	County Government Center	70,456	168,800	168,800	\$285/SF	\$48,108,000	\$300/SF	\$50,640,000
B	Judicial Center (Total)	132,100	521,700	See Below	See Below	\$112,829,500	See Below	\$121,180,500
	<i>Judicial Center (Existing Building) ¹</i>	132,100	180,100	80,000	\$200/SF	\$16,000,000	\$225/SF	\$18,000,000
	<i>Judicial Center (Court Agency Wing)</i>	N/A	245,100	245,100	\$265/SF	\$64,951,500	\$285/SF	\$69,853,500
	<i>Judicial Center (Civil Court Wing)</i>	N/A	96,600	96,600	\$330/SF	\$31,878,000	\$345/SF	\$33,327,000
--	Judicial Center Parking Structure	N/A	N/A	800**	\$18,000/Car	\$14,400,000	\$23,000/Car	\$18,400,000
C	Adult Justice Center (AJC) * ²	183,400	463,550	280,150	\$310/SF	\$86,846,500	\$330/SF	\$92,449,500
D	Sheriff's Office Building *	40,000	47,200	7,200	\$265/SF	\$1,908,000	\$285/SF	\$2,052,000
E	Juvenile Justice Center (JJC) *	70,400	112,400	42,000	\$310/SF	\$13,020,000	\$330/SF	\$13,860,000
F	Records Storage Warehouse	N/A	30,700	30,700	\$190/SF	\$5,833,000	\$205/SF	\$6,293,500
G	Fleet Maintenance Building ³	N/A	10,700	10,700	\$270/SF	\$2,889,000	\$310/SF	\$3,317,000
H	Warm Vehicle Storage	N/A	16,600	16,600	\$165/SF	\$2,739,000	\$190/SF	\$3,154,000
K	Animal Control *	10,000	13,800	3,800	\$190/SF	\$722,000	\$210/SF	\$798,000
L	Randall Road Campus (540 Randall)	73,940	--	--	Existing Building - Surplus Property			
M	Coroner Facility	3,319	7,800	7,800	\$240/SF	\$1,872,000	\$265/SF	\$2,067,000
N	Aurora Health Department ⁴	17,264	27,500	27,500	\$170/SF	\$4,675,000	\$255/SF	\$7,012,500
O	Third Street Courthouse	49,591	--	--	Existing Building - Surplus Property			
P	Fabyan Road Campus - Old Jail Site	9,350	--	--	Existing Building - Surplus Property			
Q	Sixth Street School	16,620	--	--	Existing Building - Surplus Property			
R	County Public Service Site	N/A	8,800	8,800	\$285/SF	\$2,508,000	\$300/SF	\$2,640,000
S	Child Advocacy Center *	7,333	7,333	0	Existing Building - Not Applicable			

* All square footages noted are total building gross rather than department gross.

** Represents number of vehicles for parking structure.

Note: All costs are on 2009 dollars.

¹ Assumes renovation of wing A to courts once agencies move out.

² New square footage number represents a maximum build-out scenario.

³ Costs include allowances for equipment, fueling island and site development.

⁴ Cost range reflects options for the renovation of the existing building with small addition up to a complete new building and demolition of existing.



Judicial Center Quadrant Implementation

The Judicial Center quadrant addresses the primary courts functions and associated agency support spaces as well as surface and structured parking for staff and visitors. The primary building is planned as a series of wings with discreet operational functions all connected by a central public entry and security control point.

The design aesthetic of the new building wings should be consistent with the strong architectural statement of the existing judicial center building.

Court Agency Wing

The court agency wing is planned to be constructed on the open lawn area extending from the existing judicial center toward the main site entry. Consideration should be given to construction of the full building envelope for long-term space needs with the opportunity to leave some space unfinished for future build-out as agency departments continue to grow with personnel increases. A new security screening and public entry point would be constructed with the agency wing with access to the structured parking and future building wing addition considered. Upon completion, the Circuit Court Clerk can move all operations from the 540 N. Randall building to a consolidated operation directly adjacent to the courts thereby freeing a significant amount of space in the Randall Road building that could be used for interim expansion space or potentially as lease space.

With the construction of the agency wing, additional parking will need to be provided to accommodate staff and visitor increases at this location and due to site constraints structured parking should be provided for efficient land use. Consideration should be given to temporary parking options and the construction of the structured parking deck in advance of more significant needs as surface parking will be lost during construction of the deck and for construction operations of the expansion wings.

Courthouse Reconfiguration

After the construction of the court agency wing, the vacated space at the west side of the existing judicial center can be reconfigured to accommodate additional courtrooms. These courtrooms should be planned for court proceeding with predominantly non-incarcerated individuals as it was not planned for segregated prisoner transport the way the main criminal courts wing is.

Civil Courts Wing

The civil courts wing is planned to be constructed extending to the northwest from the central main access and security screening hub and will become the forth spoke of the Judicial Center building. With the construction of this addition all civil court function in the current 3rd Street Courthouse can be relocated to this Judicial Center Campus and the 3rd Street Courthouse will become surplus property.

Judicial Center Quadrant Implementation



Adult Justice Quadrant Implementation

The Adult Justice quadrant addresses the adult jail detention needs for the County as well as the Sheriff's Office primary operations including the direct jail oversight. The design concept allows for efficient modular expansion as the future needs dictate.

Adult Justice Center

The recently completed adult justice center is approximately 180,000 square feet including two primary housing towers and all of the direct support spaces for jail operations. In the short-term, there is an option to complete the build-out of two unfinished floors in one of the housing towers. As needs increase in the future, the main circulation spine would be extended to the south and as many as three additional housing towers could be developed. There is a possibility that in long-term build-out scenarios that inmate housing expansion might require expansion of the support operations and that can be accomplished by continued growth of the support space east of the circulation spine to the south along with the tower expansion.

Sheriff's Office Building

The Sheriff's Office has the bulk of their space in the recently completed space on the second floor east of the main circulation spine for the jail functions. It is anticipated that this space will serve the needs of the Sheriff's office for the short and mid-term. As space needs grow in the long-term, it is assumed that the Sheriff's office will continue expansion to the south on the second floor and the first floor as needed. Consideration has been given to developing a Coroner's office in this quadrant adjacent to the Sheriff's operations.

Parking & Site Development

With building expansion to the south the existing staff parking would be displaced and it would be relocated to additional land area that has been set aside east of the NICOR gas pipeline. There is also an option to provide some staff parking farther south, dependent upon the final design configuration. Maintaining a landscape buffer along the southern property boundary has been identified as a priority. The planning concept includes continuation of the secured access ring road around the Adult Justice Center and Sheriff's Office. Stormwater would continue to be directed to the detention pond to the west and would require modification to the drainage swale and an increase in stormwater detention volume adjacent to the new development area to compensate for the added impervious surface.

Adult Justice Quadrant Implementation



Juvenile Justice Quadrant Implementation

The Juvenile Justice quadrant addresses the juvenile jail detention needs as well as juvenile court operations for the County. The existing facility consists of an 80-bed housing pod with educational and recreational support, the central housing support functions, juvenile court and adjacency office space.

The original building was designed to accommodate another 80-bed housing pod without the need to expand direct housing support facilities. The anticipated housing pod would be approximately 32,000 square feet. With increased demand on the juvenile system there will be need to build-out the second courtroom on the second floor of the main entry building. This court operations expansion will require displacement of the agency offices that currently reside in the area. There are options for providing new office space as a second floor over the housing pod expansion or as a ground level expansion of the main entry building. Operational planning suggests that maintaining the adjacency between the juvenile court components is important to efficient handling of cases.

Parking & Site Development

As growth occurs in this area, additional parking will be provided toward the south. It is anticipated that with the development of the second housing pod, there would be additional landscaped and earthwork screening of the Juvenile Justice quadrant from the more public development to the south and east for County government and public service operations. Site access to this area will be maintained as a single point of entry and egress at its current location to maintain controlled access to the public side of the facility.

Since the added housing pod and expanded parking would be located where the existing dry bottom stormwater detention basin is the stormwater would need to be directed further south. The addition of impervious surface would also require additional stormwater detention volume and this would be accomplished by expanding the current southern basin east of the NICOR gas easement to address the needs. Some of the development in this area may impact some current wetlands, but there are opportunities to create additional wetland areas on-site that are tied into future expanded stormwater management areas all along the southern site boundary.

Juvenile Justice Quadrant Implementation



Government Center Quadrant Implementation

The Government Center quadrant addresses all primary County Administration and public service needs and allows for efficient consolidation of operations that are currently spread amongst the several buildings at the current County Government Center site.

Building Development

The proposed building is planned to allow for incremental expansion as space needs dictate and to allow for a phased transition of County Government operations from the current site location. Once the central public service and entry core are established, back office and county support functions can be built-out and expanded in the building wings. Opportunities exist for the creation of shell space and possibly tenant space which will allow for ease of expansion to address growing space needs.

The identified county public service site provides a strategic placeholder for currently unidentified future needs. With its proximity and visibility along Route 38 there is a great opportunity for convenient public access without navigating the full site of County operations.

Parking & Site Development

As this eastern portion of the site is developed, the main internal vehicular circulation network will be strengthened with a new site access point on Route 38 that loops around to connect with the judicial functions on the western portion of the site. Additionally, opportunities exist to coordinate with the neighboring property owner to the east to provide a cross access connection between the properties. Surface parking is planned to flank the building on both sides to allow for good proximity to the building. Additionally, short-term visitor parking can be accommodated very near to the front entry for convenient public service. A central public plaza allows for regular gathering and outdoor events to strengthen the connection with the citizens of Kane County. This civic plaza will also serve as a wayfinding beacon to orient visitors to the site.

Parking would be developed with surface drainage into bioswales to promote higher water quality and ground-water recharge. There are great opportunities to create a natural amenity space with bicycle and walking trails along the southern site boundary for County employees and the public to enjoy. Stormwater detention for this eastern portion of the site would be developed south of the government center. There are existing drainage ways and potential drain tiles that cut across the proposed building location that would need to be rerouted through perimeter drainage swales. There are also opportunities to work with the neighboring property owner to the east to construct a shared stormwater detention basin straddling the two properties.

Government Center Quadrant Implementation



North Annex Implementation

The North Annex property north of Route 38 will be developed for County operational support functions that do not require regular public access. There is close proximity of the supportive functions to the main Judicial Center Campus for operational efficiency, but adequate separation for the varied function

Site Development

The approximate 25-acre parcel is adequately served by utilities with water main along the south side of Route 38 and sanitary sewer along the south side of Route 38 and the east side of Peck Road. The natural grade slopes steadily from the high point at the east to the low point at the west end. Initial site development would include mass grading of the site for buildable pads on the east and west sides of the NICOR gas easement and the construction of a stormwater detention basin at the far west end of the site fed by naturalized drainage swales.

In recognition of the residential neighborhoods to the north of the property, earth berms and dense landscape buffers are proposed as a visual screening device. Access from Route 38 would be aligned with the existing and proposed access points to the Main Campus across the street, and these roadways would continue out to Peck Road to the west for secondary ingress/egress.

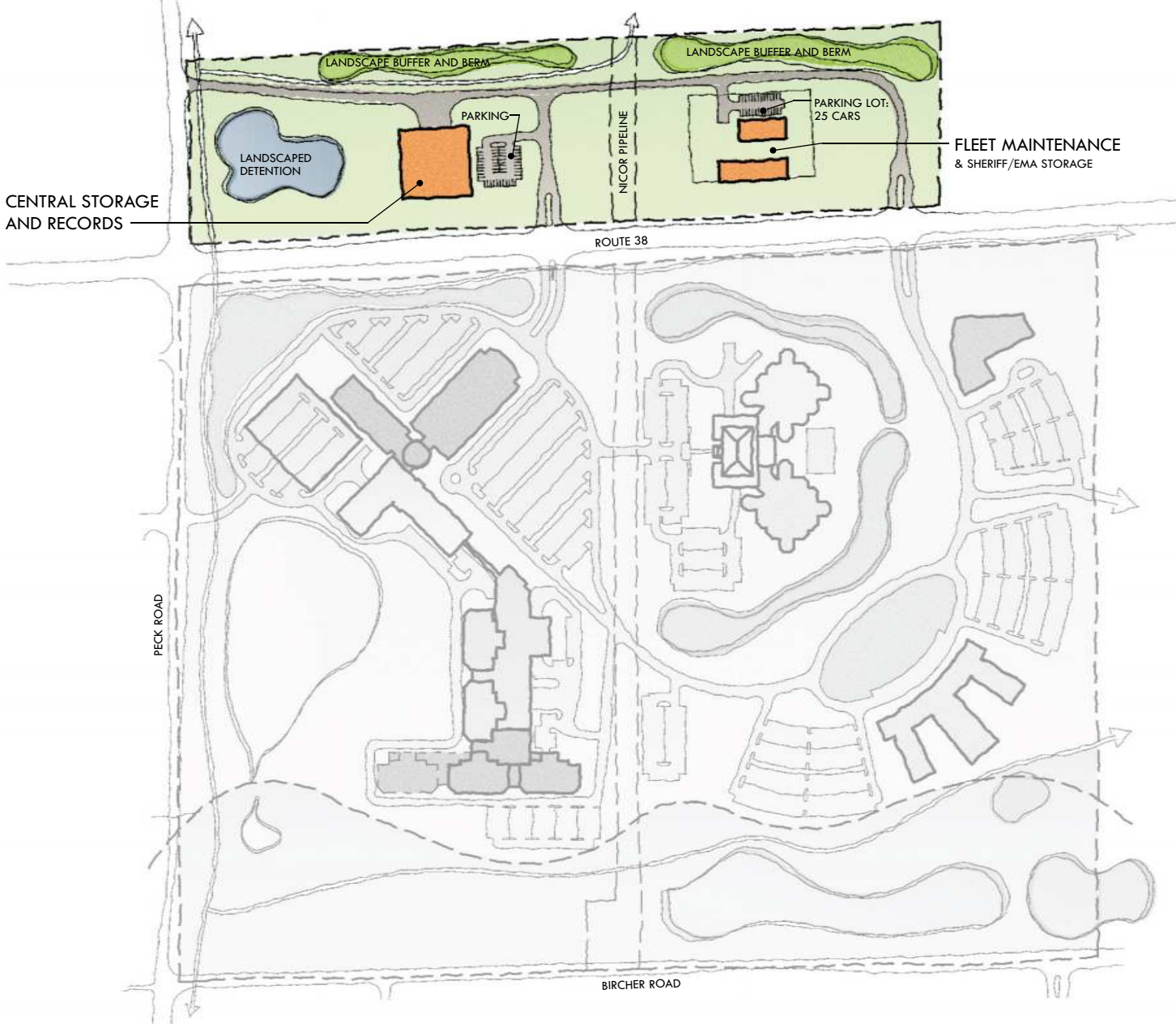
Fleet Maintenance & Sheriff / EMA Storage

The eastern portion of the site is proposed to accommodate a fleet maintenance building for County government and Sheriff's vehicles. Additionally a warm storage building is proposed to accommodate vehicle and equipment storage including Emergency Management Agency vehicles. The buildings are located such that the bulk of the outdoor vehicle parking and maneuvering area can be situated between the buildings which will provide screening of the outdoor staging areas. The buildings are planned to be of simple lower cost construction, but nicely designed to be respectful of the residential neighborhood to the north.

Central Storage and Records

The western portion of the site will be occupied by a central County storage and records facility. This building will be designed with an architectural style similar to the Fleet Maintenance building to present a unified campus appearance. The building itself is proposed as a high-bay single story structure with efficient internal storage on a main level and mezzanine or rack storage system. There are opportunities for segregation and individual securing of departmental storage as well as climate control for specific storage areas.

North Annex Implementation



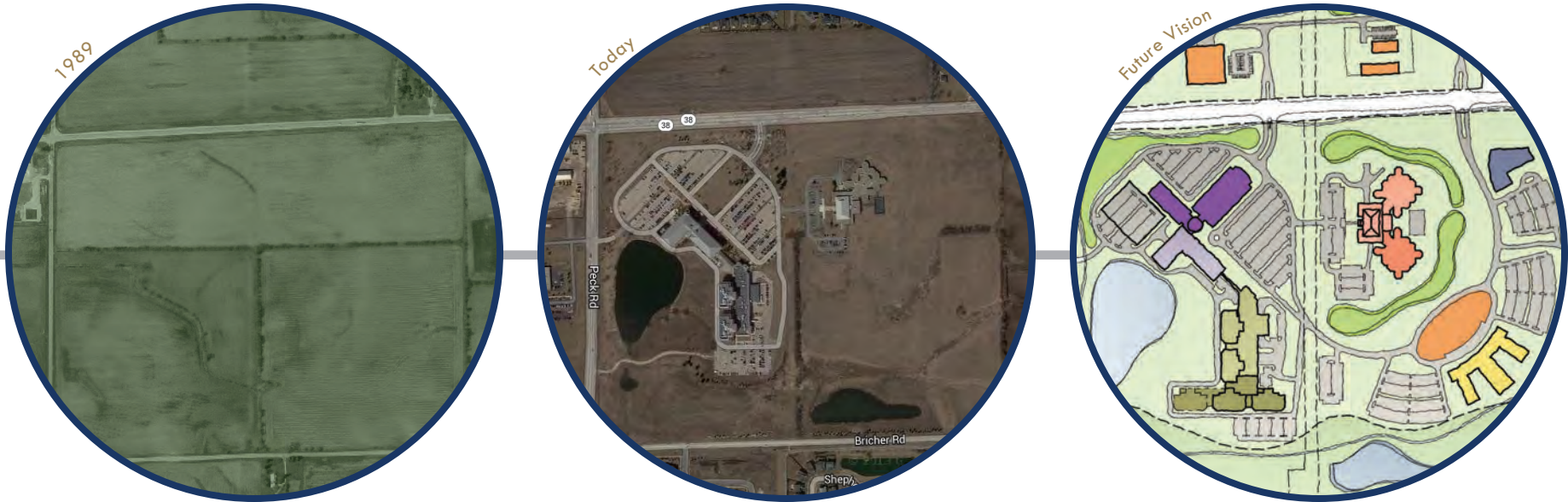


From Fields to Facilities

A History of Kane County Facility Planning
May 2014

Wight

From Fields to Facilities



*“Make no little plans. They have no magic to stir men’s blood and probably themselves will not be realized. Make big plans; aim high in hope and work, remembering that a noble, logical diagram once recorded will never die, but long after we are gone will be a living thing, asserting itself with ever-growing insistency. Remember that our sons and grandsons are going to do things that would stagger us. **Think big.**”*

Daniel Burnham (1846-1912)

A History of Kane County Facility Planning

This famous quote by Chicago architect Daniel Burnham was clearly embraced by Kane County officials in the late 1980's when they set out to define the shape and future of facilities for Kane County and the 16th Judicial Circuit Court of Illinois. Moreover, the County's vision drove development of a blueprint that would accommodate the needs of modern judicial operations while also establishing a "roadmap" for future development of an entirely new county government campus.

A 145-acre cornfield site located at the southeast corner of Route 38 and Peck Road, with adjacent property north of Route 38, was the blank canvas upon which the new Kane County Judicial Center and the Master Plan for a future Government Campus were conceived. This greenfield site, situated on the western frontier of the established Fox River Corridor, represented an opportunity to reinvent how County services and justice operations would be delivered to a growing population well into the future.

With adoption of the 1989 Master Plan and subsequent implementation of the Judicial Center in 1993, the first core elements were put into place, laying the groundwork for the future of Kane County's judicial facilities. By diligently following the initial roadmap and employing a cyclical process of planning, implementing, and refining the Master Plan to adapt to growth and changing priorities, the County has enjoyed great success.

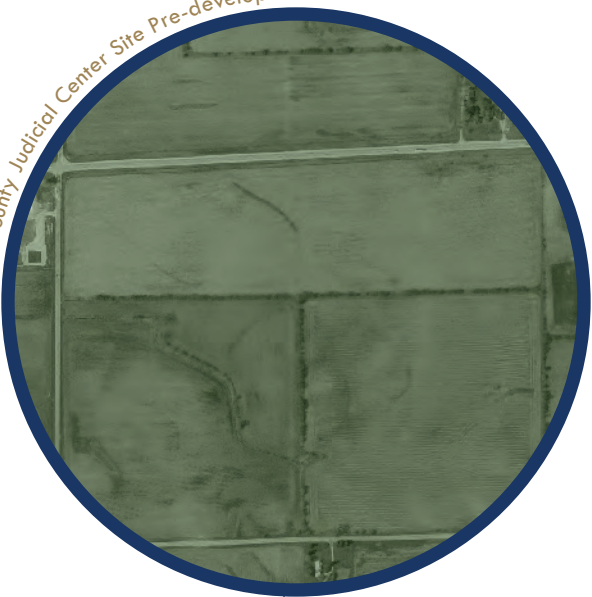
Each completed milestone—whether a strategic plan adopted or a new facility constructed—has brought the County one step closer to achieving its vision, while also enhancing its ability to serve its citizens. This "ripple effect" has been positively felt throughout the Kane County community for several years and has led to increased support for future initiatives.

Since Kane County is now poised to take the next step in its journey through implementation of the second phase of expansion to the Judicial Center, this document is presented to serve as a reference tool to County officials. With a goal of clearly documenting the County's 25-year history of thoughtful and successful planning and development, a timeline approach is utilized to capture the full story. From initial campus planning and early phase implementation to the subsequent realization of such significant facilities as the Juvenile Justice Center (completed 1997) and the Adult Justice Center (completed 2008), this publication highlights the County's commitment to the future.

Building upon this commitment, through implementation of the Judicial Center expansion project, the County will provide the courtroom and agency office space needed to meet current caseload demands while addressing requirements related to the County's continued operational growth, anticipated for years to come. By addressing these needs in a proactive manner, the County remains in control of the future and is strategically positioned to continue its legacy of making well-reasoned and fiscally responsible facility decisions.

Timeline / Table of Contents

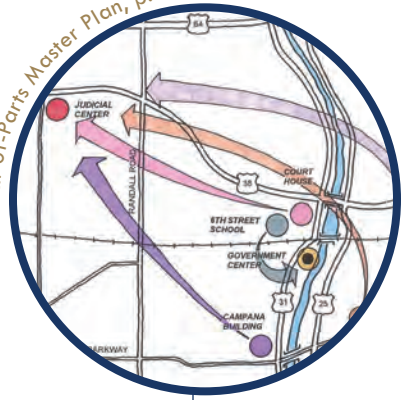
Kane County Judicial Center Site Pre-development



Judicial Center Master Plan, p.6



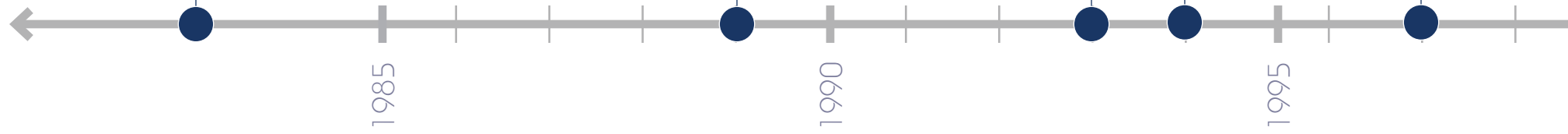
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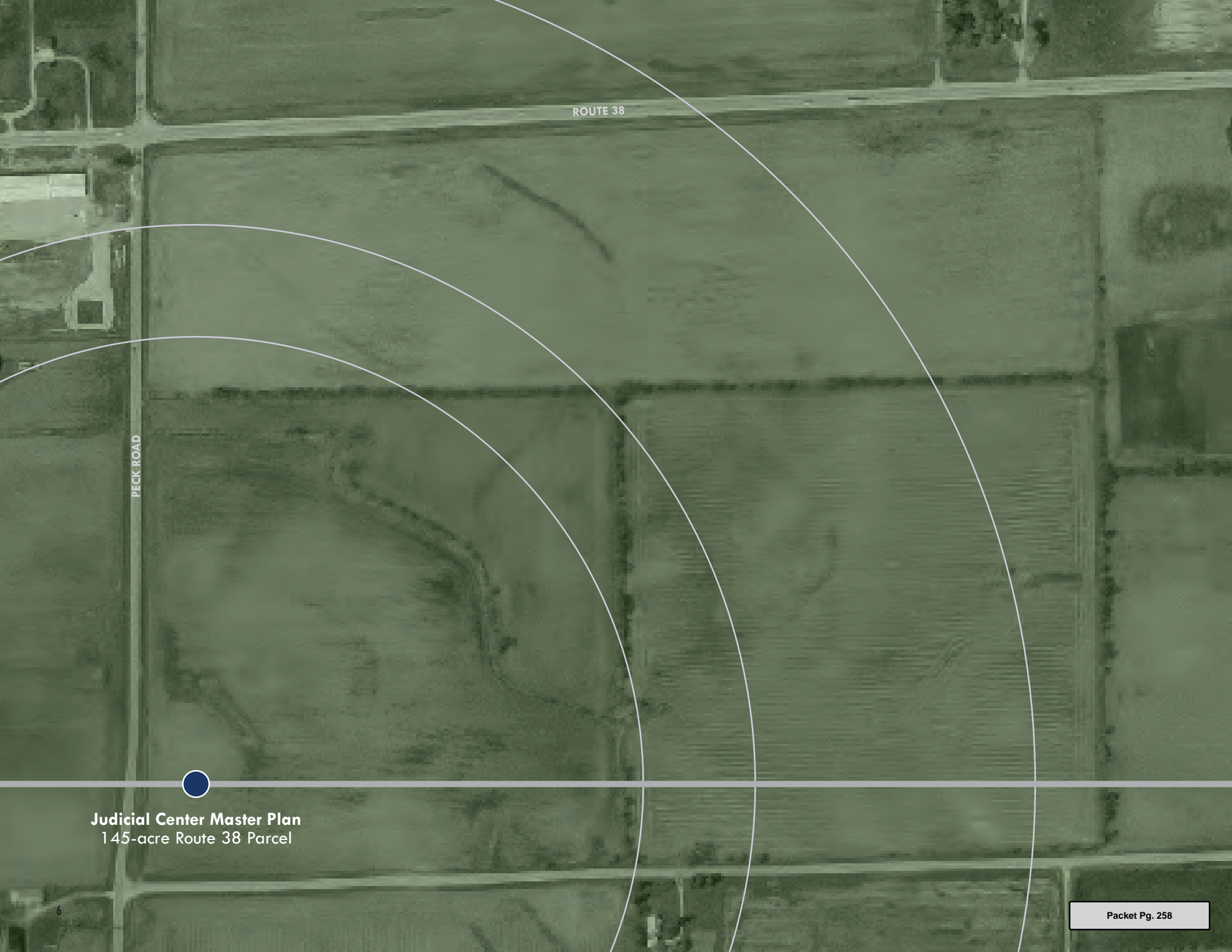


2000

2005

2010

2015



ROUTE 38

PECK ROAD



Judicial Center Master Plan
145-acre Route 38 Parcel

Based on the programmatic study completed in Spring 1988 for the Kane County Court System's current and future needs, the County engaged a planning team led by Wight & Company to develop a **Judicial Center Master Plan**, a campus to serve the County's growth requirements well into the next century.

The purpose of the study was to analyze a particular 145-acre site along Route 38 with regard to ideal building and parking locations, stormwater management, site utilities, and vehicular access. Synthesizing these findings with the results of the County Board approved Court Facilities Program, a three-phase development strategy, along with optimal usage, was proposed.

1989

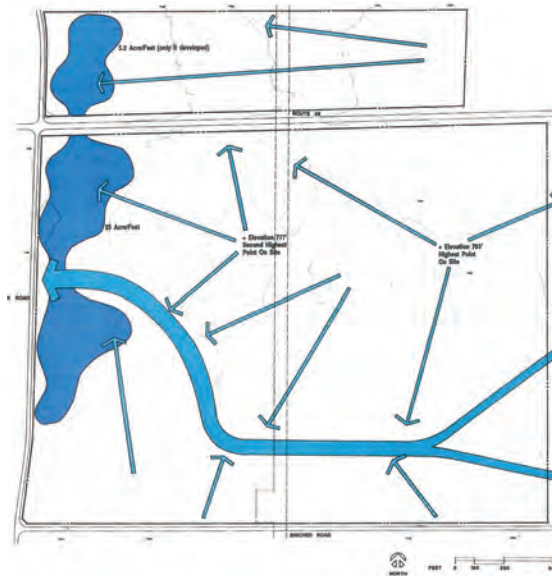
Site Analysis

Analyzed for Optimal Usage

The site, acquired by the County, was a two-piece, 145-acre parcel of land located west of downtown Geneva along Route 38. The subject property for immediate development was the 120-acre portion south of Route 38, east of Peck Road, and north of Bricher Road. The 25-acre parcel north of Route 38 and east of Peck Road was not studied for potential development at that time. The parcel south of Route 38 is literally divided in half (north-south) by an existing high pressure gas main. No building construction, and only minimal site grading, is permitted across this utility easement.

The portion of the site west of the gas main was identified by the planning team as the most advantageous location for the Phase I Judicial Center and its future expansions. This assessment was based on the following design considerations:

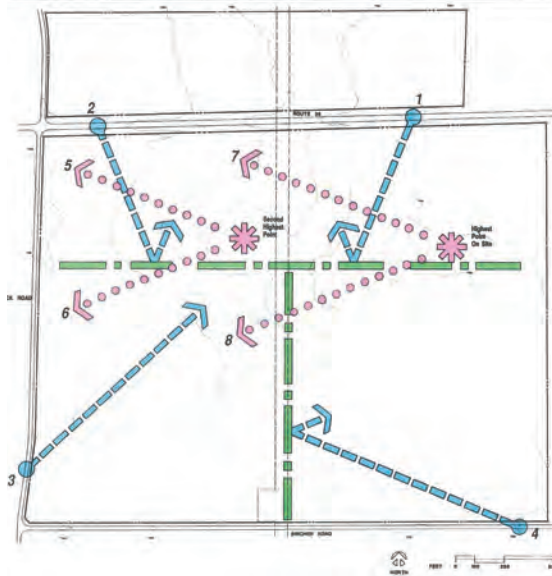
- Conservation of natural land forms
- Building visibility and access from major roadways
- Stormwater retention proximity
- Suitable soil conditions
- Utility service access
- Controlled environmental context due to County influence over future development on surrounding properties to the north and west



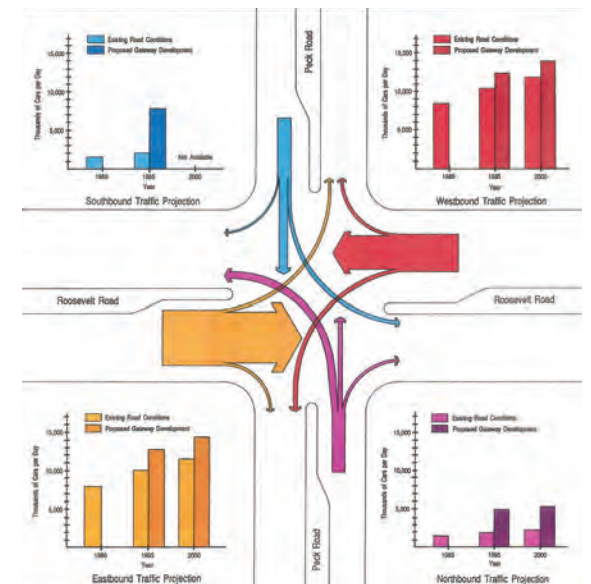
Site Drainage



Vegetation

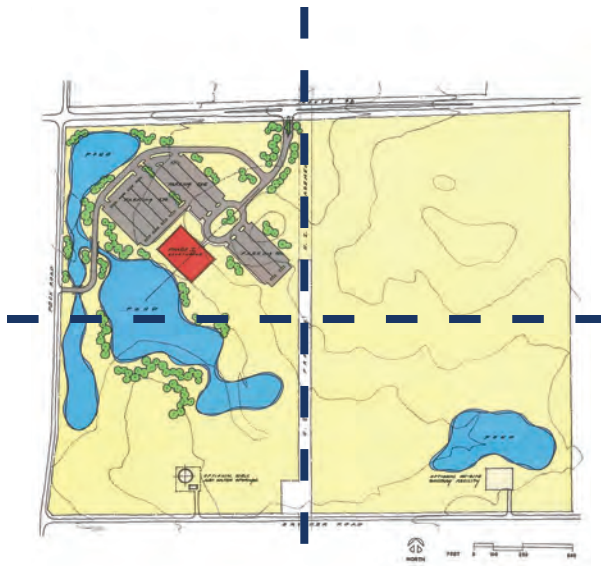


Views

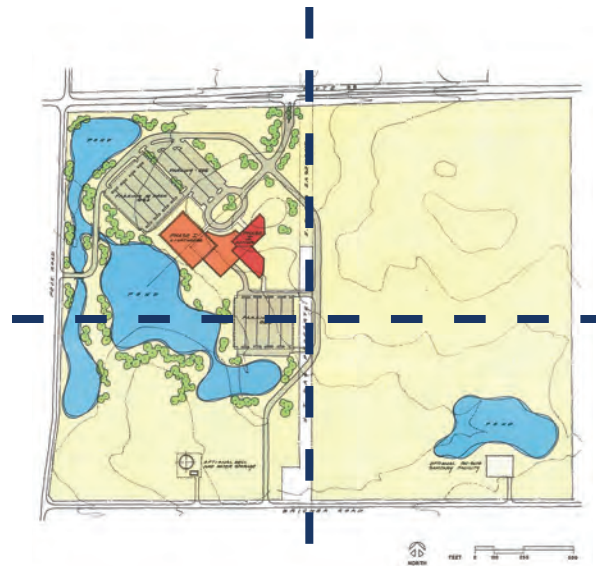


Relative Traffic Flow

Master Plan



Phase I



Phase II



Phase III



Ultimate Site Usage

Three-phased Judicial Master Plan

The court complex was envisioned as a cluster of buildings congregating around an existing knoll feature on the land. This site selection allows for the optimal integration of traditional courthouse formality with the harmonizing influence of a public park setting.

In Phase I, a 135,000-sf courthouse housing felony, DUI, domestic, juvenile, and misdemeanor courts; along with offices for States Attorney, Public Defender, and Court Services, was planned for immediate design and construction, with occupancy in 1993.

Phase II development suggested construction of an attached office building making new accommodations for office functions such as Court Services, Public Defender, and Circuit Clerk, allowing for additional courtrooms to be built in the vacated space.

Phase III theoretically realizes an expansion of both court and office structures consistent with the judicial system growth figures documented in the facility program. At the completion of Phase III, the entire Judicial System will function in one complex.

The ultimate site usage plan established facility placeholders on the eastern half of the site to address needs anticipated well into the future.

The Judicial Center's signature appearance balanced timeless tradition with regional interpretation and modern material palette, and set the style language for subsequent buildings on the campus. Both the Juvenile Justice Center and Adult Corrections facility display continuity with this visual language.

Judicial Center

The new Kane County **Judicial Center** (JC) was planned and built as a modern and secure justice facility in 1993, and still functions safely today. Although originally sized to handle caseloads projected through the subsequent 15 years following its completion, this court facility is now overcrowded and in need of expansion to meet the demands of increased caseload and staffing levels.

The Phase I facility was designed to eventually expand all components of the criminal and family justice operation to accommodate needs into the foreseeable future.

1993

A pivotal concept of the original courthouse plan was the separation of circulation between public, judges, court staff, and prisoners to ensure safety for all participants in the justice system. These parallel worlds would only meet in the secure confines of the actual courtroom.

The programmatic elements of the initial facility originally included 14 courtrooms: one large ceremonial or large volume court, 8 juried criminal courtrooms, 4 non-jury family courts, and one juvenile hearing room.

Courtroom interior architecture and furnishings feature quality wood finishes in contrasting light maple and dark cherry tones as an expression of the dignity and timelessness of the law. A raised barrel vaulted ceiling shape with special lighting emphasizes the “litigation-well” as the theater where justice is discerned.

Other components of the judicial operation that pertain to the public experience with the court facility include security screening for all visitor arrivals and a jury assembly room at the entrance level. Downstairs at the lake level is a public cafeteria with special provision for sequestered jury dining. Public waiting spaces at courtroom entrances on all levels of the building provide seating

and expansive views to the outdoors. Public access to attorney-client conference rooms is also situated along these linear public-waiting spaces.

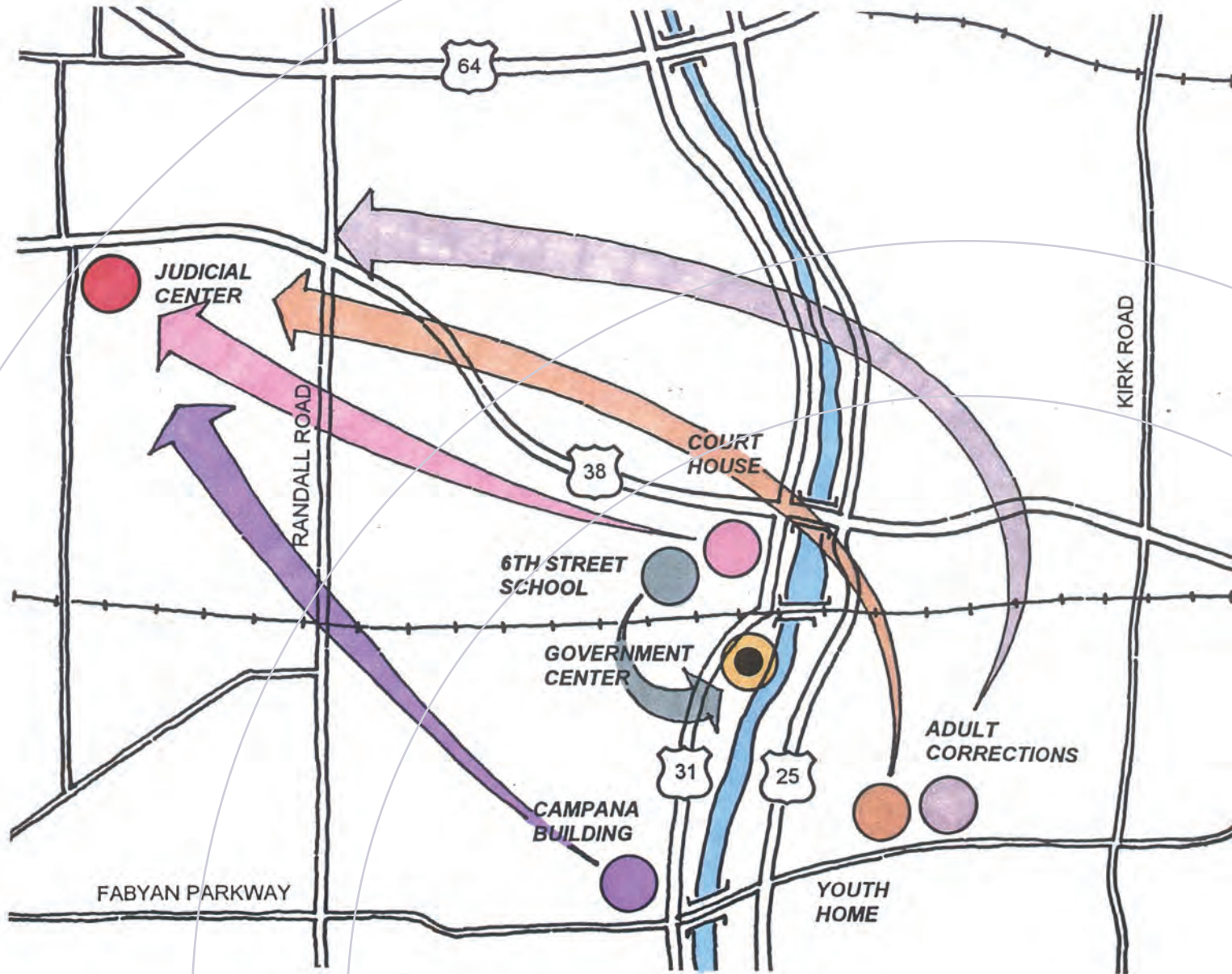
Court agency offices are located on multiple levels in the west wing of the Phase I court facility. The Court Services, or probation division, is situated at the entrance level opposite from the entrance to the Jury Assembly area. The Public Defender office suite is located on the second level adjacent to the Law Library. On the third floor are the States Attorney offices with direct access to the Grand Jury room. Court administration and office of the Chief Judge is also located on the third floor.

Exterior Architectural Expression

The Phase I courthouse structure established an architectural vocabulary inspired by the Midwestern prairie-style. The elements of a low-slope hip roof with broad overhung eaves and a ribbon window at the upper level so indicative of the prairie-style are combined with vertical pilaster elements and a cast-stone rusticated base reminiscent of traditional, neo-classical courthouse expressions. Light-colored brick masonry with white cast-stone spandrels give the facility a modern look.







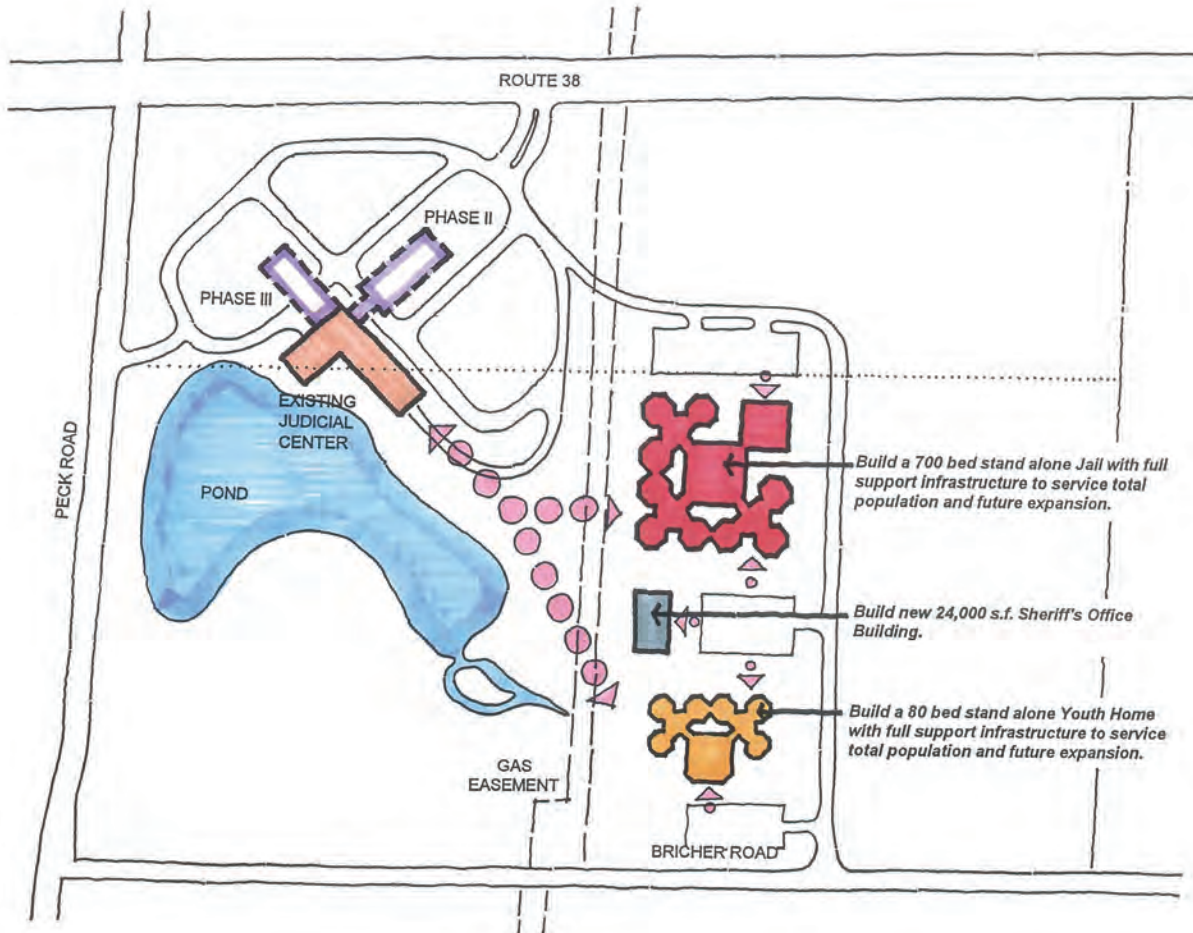
Kit-of-Parts Master Plan
 County Facilities Consolidation

The 1994 **Kit-of-Parts Master Plan** expanded the planning to address consolidation of both juvenile and adult corrections onto the new Judicial Center Campus along with the eventual incorporation of the Circuit Clerk and the Civil Division of the Courts. At that time, the Circuit Clerk was situated in the landmark Campana Building, while Civil Courts were still (and continue to be) housed in the historic Third Street Courthouse in downtown Geneva.

A grand plan examining new space to meet growing needs at the existing government campus, as well as the new judicial campus, was in review. The long-term vision to bring all County government and judicial services to the new campus was still held, but near-term necessities and financial realities required an incremental approach.

1994

Corrections Campus



Kit-of-Parts: Scenario C

Juvenile and Adult Corrections

Referred to as a “Kit-of-Parts,” the planning process for consolidation of Juvenile and Adult Corrections onto the Judicial Center Campus explored a variety of configurations.

The existing facilities for both youth and adults at the Fabian Parkway corrections campus were woefully inadequate in capacity, quality, and security. These aging facilities no longer served the County’s needs and were becoming operationally problematic. Daily transport of prisoners from the jail or youth home to the court facilities was staff-intensive, expensive, and unsafe.

The proper location for corrections was to be adjacent to the court facilities. A surface tunnel walkway linking the new jail to the existing courthouse would allow daily prisoner transport from the jail to the Sheriff’s holding area at the Lake Level of the Court building.

The Juvenile Justice Center, however, was conceived as a stand-alone facility containing both detention and juvenile court functions. This facility was sized to house up to 80 youth with one juvenile hearing room. The long-term plan calls for doubling the juvenile housing capacity to 160.

Government Campus

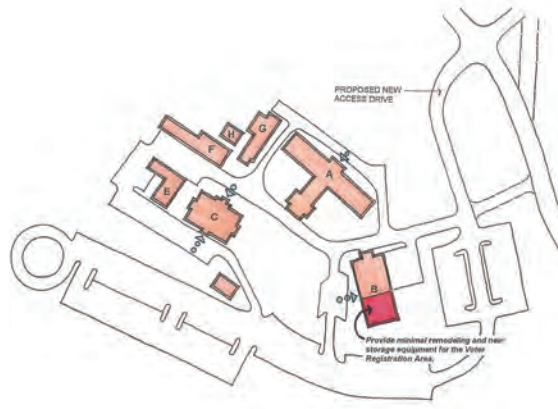
Evaluation of Existing Facilities

Similar to the Kit-of-Parts exploration for locating facilities at the new Judicial Center Campus, the existing Government Center required an investigation of various solutions to critical needs for government services.

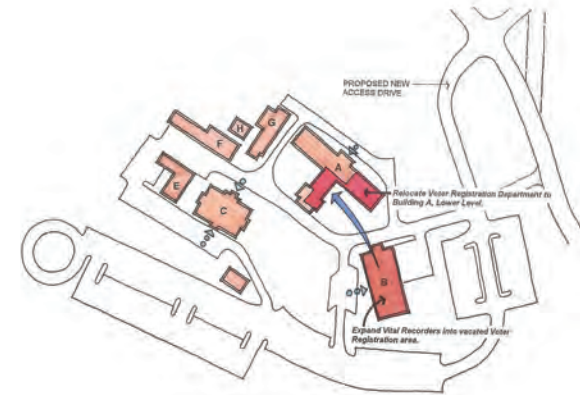
The government center today is housed in the vestige of an old theological seminary campus. The buildings have been repurposed from academic functions to government services functions. Vehicular circulation, parking, and pedestrian movement between structures continue to be some of the more challenging issues.

Expansion scenarios for extending the useful life of the existing buildings required to serve government functions were studied for structural feasibility and cost ramifications. The needs of the County Clerk were proven most pressing and resulted in a small addition.

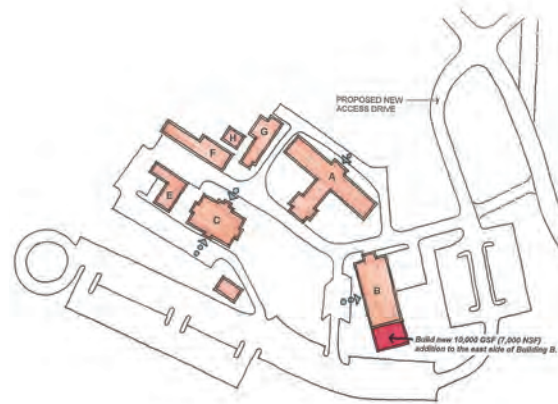
While the long-term vision continues to be future relocation of all government services to a new campus co-joined to the judicial complex, it was envisioned that it would be many years before that could come to fruition. The scenario options developed represent mid-term solutions to County government needs.



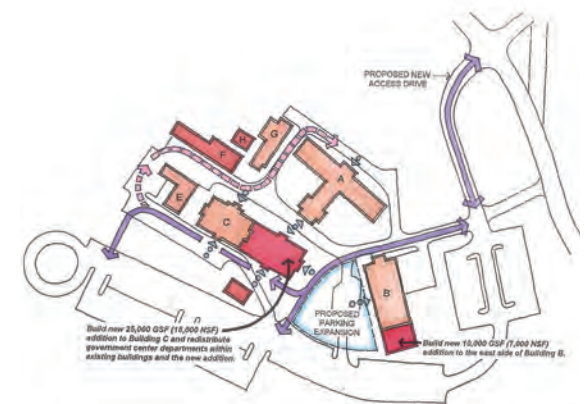
Kit-of-Parts: Scenario 1



Kit-of-Parts: Scenario 2



Kit-of-Parts: Scenario 3



Kit-of-Parts: Scenario 4



**Juvenile
Justice Center**

Consistent with the County's planning vision to consolidate justice facilities at the Judicial Center site at Route 38 and Peck Road, the County completed the **Juvenile Justice Center (JJC)** in 1997. The facility was strategically placed at the northeast quadrant of the site and purposefully screened from view as one passes the site on Route 38 through the utilization of landscaped berms.

The JJC was built with 80 beds of juvenile detention that could effectively be expanded to 160 beds by adding the southern housing pod in the future. One juvenile courtroom was included on the second floor, and was designed to allow the addition of a second through interior build-out. The central core, infrastructure, and recreation spaces were all built with capacity to accommodate the future housing expansion.

1997

As County growth continued, challenges related to the old jail's inadequate housing capacity and poor physical condition reached a climax. In order to effectively address these issues, the **Adult Justice Center Planning** (AJC) was completed in 2005.

The planning study explored options to: 1) continue using the existing facility with housing of excess inmates in other counties; 2) remodel and add on to the existing facility; 3) build a new facility at the existing site; and 4) build a new facility at the Judicial Center site. Through an analysis of the 15-year total cost for each of the four options, a decision was reached to proceed with Option 4, and the design process for the new facility was launched.

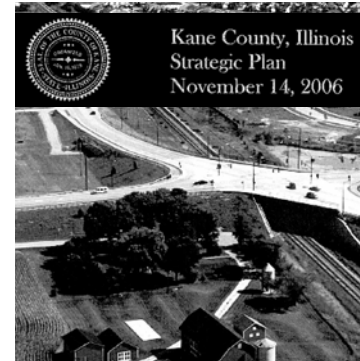
2005



Adult Justice Center Planning

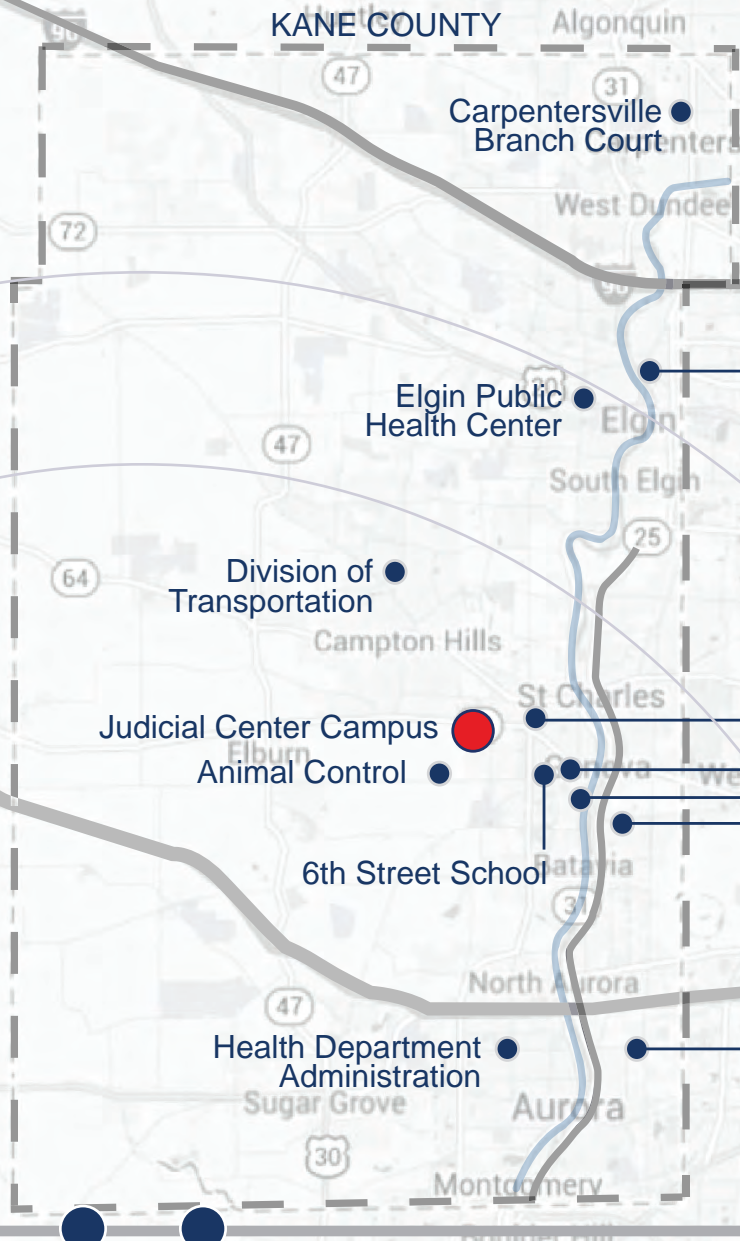
As planning for the AJC progressed, the County focused on a strong and vibrant future by developing the 2006 **Strategic Plan**. The study identified challenges with fragmented locations and service delivery. A goal was established to centralize facilities at the Judicial Center site, and build satellite facilities, when appropriate, in Elgin and Aurora areas to increase efficiency and service.

Another directive of the study was development of the 2007 **5-year Capital Plan** to coordinate all facility-related capital projects. All major new construction and maintenance was identified and budgeted. With the consolidation of functions at the Judicial Center site and the AJC planning nearing conclusion, the County established a goal to make the Old Jail on Fabyan Parkway and the Sixth Street School surplus properties.



2006-07

In accordance with the Strategic Plan, the County continues toward the goal of centralizing facilities at the Judicial Center Campus with satellite facilities, when appropriate, in Elgin and Aurora areas to increase efficiency and service to those high populations areas of Kane County.



Carpentersville
Branch Court

Elgin Public
Health Center

Elgin Branch Court

Division of
Transportation

Judicial Center Campus
Animal Control

Randall Road Branch Court
& Circuit Court Clerk
Third Street Courthouse
Government Center
Old Jail Site

6th Street School

Health Department
Administration

Aurora Branch Court

Strategic Plan and 5-year Capital Plan
County Facilities Locations and Services

What started as merely a plan in 2005, the **Adult Justice Center** (AJC) became a reality in 2008. The additional work of the 5-year Capital Plan paved the way for the build-out and completion of the Sheriff's office. At its completion, the 608-bed capacity of the AJC represented a significant increase over the capacity of the old jail, and unfinished shell space allowed for growth to meet future demands.

The placement of the AJC directly adjacent to the Judicial Center also allowed for direct linkage and easier transport of in-custody defendants to courtrooms. The newly consolidated jail and Sheriff's office facility also allowed for all functions, with the exception of the Diagnostic Center and Fleet Maintenance, to be removed from the old jail site, consistent with the County's goal to make the jail site a surplus property.

2008



Adult Justice Center

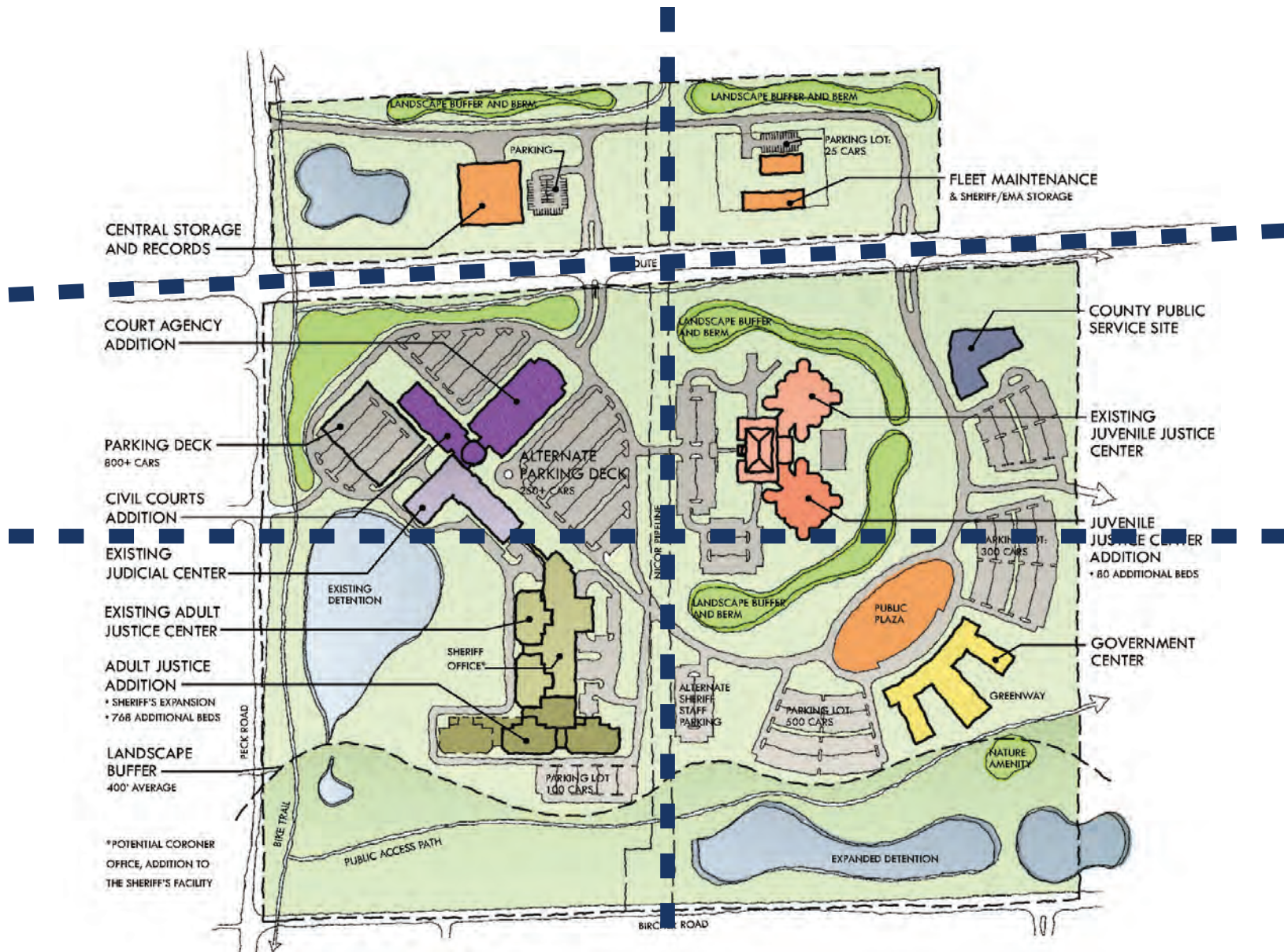
By 2009 the Judicial Center campus contained the Criminal and Family Divisions of the 16th Judicial Circuit Court in the Judicial Center; the Juvenile Justice Center; and the Adult Justice Center, which also housed the Sheriff's Department. The Civil Division of the court system and County Government offices remained in downtown Geneva.

With the campus at various stages of implementation, it was the right time for Kane County to reflect on the progress and refine the master plan for the complete development of the parcel. In line with the 2006 Strategic Plan, it was the intent of the **Judicial Center Site Master Plan** to complete the consolidation vision for the campus by recommending the best layout configuration for all County justice, law enforcement, and government facilities that were ultimately to be located on this campus.

2009



Judicial Center-Site Master Plan



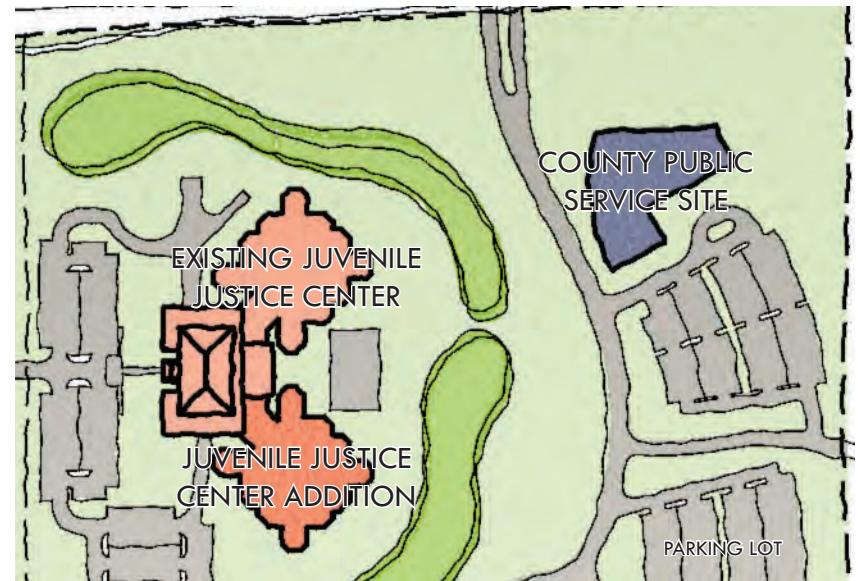
The master plan divided the site into four quadrants. Each serves a core county function: Judicial, Adult Justice, Juvenile Justice, and County Government. Additional Central Records and Fleet Maintenance operations are located on the parcel north of Route 38.

Master Plan Quadrants



Judicial Center Quadrant

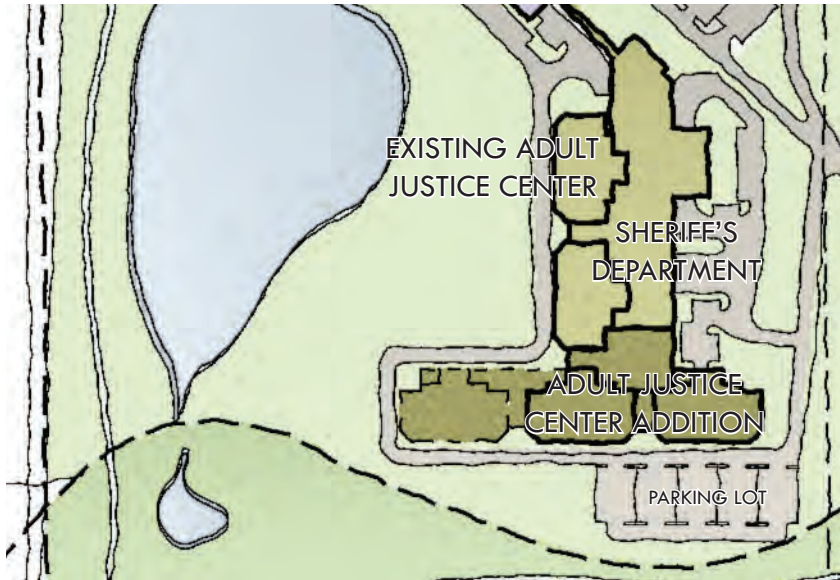
Proposed expansions to the existing Judicial Center included a Court Agency addition and Civil Courts addition. The Court Agency wing is a four-level addition comprised of the Circuit Clerk (ground and lower levels), Public Defender & Court Services (second level), and States Attorney (third level). Upon completion of the Court Agency addition, existing Court Agency spaces would be converted to new courtrooms. The Civil Courts wing is also a four-level addition containing all courtrooms, judges chambers, and associated functions of the Civil Courts Division currently located at the Third Street Courthouse. An 800-vehicle parking deck is proposed, with accommodation for secure judges' parking area in the lower level.



Juvenile Justice Quadrant

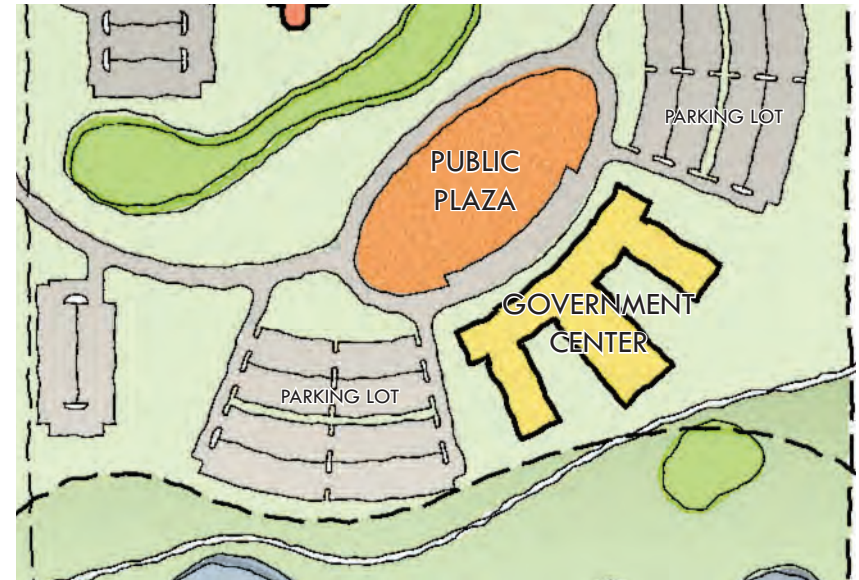
An 80-bed detention and education pod addition attached to the existing Juvenile Justice Center facility would double the current population to a total of 160. In accordance with the intent of the original design, this expansion would require no additional support spaces for services to the youth population. The increased capacity of the detention component will drive the need for an additional juvenile courtroom. The original building design provided space for this second courtroom to be built-out when the detention housing expansion occurred. Provision for this new courtroom will require the relocation of temporary satellite court agency office space to a new location.

The County also designated a development parcel as a placeholder for future public service functions.



Adult Justice Quadrant

A 768-bed expansion to the Adult Justice Center was anticipated in the original design, an increase that would double the size. The construction of two new housing towers would be required to meet future inmate projections. In accordance with the intent of the original design, this expansion would require no additional support spaces that provide essential services to the inmates. The potential accommodation of a third housing tower would maximize the ultimate facility capacity to over 1,800 inmates. Such expansions will drive increased operational needs for the Sheriff's facility. Law enforcement administration and officer training spaces will be expanded to meet the needs of this larger jail population, and projected County growth.



Government Center Quadrant

The construction of a new, single-building facility to provide all administrative components of County governance, with the exception of Health Services, will replace the facilities currently located on the downtown Geneva campus. Although some government services will continue to be best delivered in a limited number of off-site satellite locations, the majority of operations will be consolidated in this new center. The Administration Center is to be designed with convenient, "one-stop shop" customer service as the most important organizing principal. Provision for a public assembly space is suggested in front of the Administration Center to provide a venue for numerous outdoor and civic events throughout the year.



ADULT JUSTICE CENTER

JUDICIAL CENTER

JUVENILE JUSTICE CENTER

In the Spring of 2010, the County was faced with the challenge of accomodating three judges added to the 16th Judicial Circuit by passage of recent legislation. The addition would have an impact on courtroom facility needs and associated agency office space for the State's Attorney, Public Defender, and Circuit Clerk.

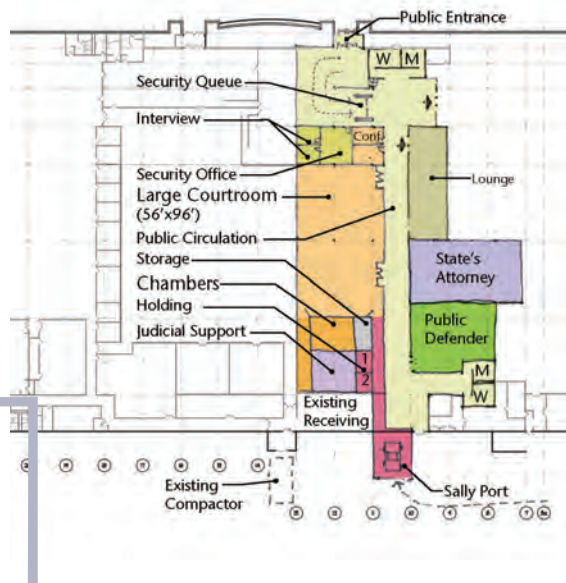
Working closely with the Justice Managers, six options to address both near-term and long-term needs were explored to determine solutions and set a clear direction for the future. The overarching goal of the **Judicial Options Feasibility Study** was to clearly understand what the facility needs were and how best to address them in a way that positions the County to continue to provide the highest quality of service to the citizens of Kane County, in the most financially responsible way.

2010



Judicial Options Feasibility Study

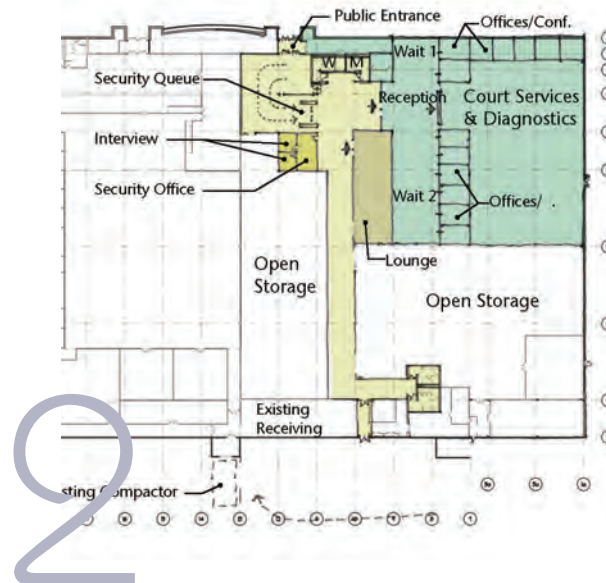
Options Studied



New Courtroom at Randall Facility

This option explored construction of a new, high volume Traffic Courtroom in unfinished space at the Randall Road building, adjacent to the Circuit Clerk space. The facility would have secure access for judges and support staff, a security queue for public visitors, and a small lock-up facility. The courtroom was also planned as a multi-purpose conference facility with appropriate technology and dividable space to fulfill other County needs.

Status: Completed



Construct Agency Office Space at Randall Facility and Add Courtrooms at Judicial Center

This option would have relocated Court Services and the Diagnostic Center to the Randall Road facility. By moving Court Services out of the Judicial Center, the vacated space could be renovated for courtrooms. Additionally, the Diagnostic Center would be removed from the old jail site in preparation for a future divestment of the property.

Status: Ruled Out



Construct Judicial Center Addition

This option involved proceeding forward with a long-term solution consistent with the County's Master Plan vision. When the Judicial Center was designed and built, it was planned to have two phases of additions that would accommodate growth in space needs. This option refined the master plan vision, and included new criminal courtrooms in the addition along with agency office expansion and added parking.

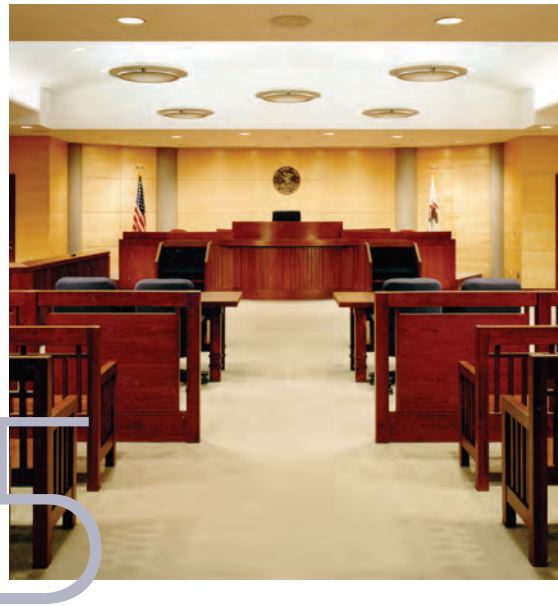
Status: Deferred, Planning to Continue



Modification of Third Street Courthouse to Accommodate New Judges – Potential New Space for Displaced Functions

This option renovated the Third Street Courthouse to increase its utilization and included the relocation of the Abuse & Neglect court operation from Courtroom 005 in the Judicial Center to Courtroom 140 at Third Street. This provided an additional courtroom for use by a new Judge.

Status: Completed



Accommodate New Judges and Associated Staff Through Alternative Scheduling and Expanded Hours of Operation

This administrative option explored alternative scheduling and expanded hours of operation as a means to address the needs of the judiciary as new judges are added to the Circuit. The refinement of court operations is ongoing.

Status: Ongoing



Construct Second Courtroom in Juvenile Justice Center

This option considered an interior build-out of second floor space at the Juvenile Justice Center for a second criminal courtroom at the facility. This would allow the Abuse & Neglect court operation to move from the Judicial Center to the Juvenile Justice Center and free up a courtroom at the Judicial Center for use by a new Judge. This was determined to have lower value for the cost and was deferred for future consideration.

Status: Deferred

Having clarified the immediate justice needs and prioritized the solutions, the County took quick action through the implementation of the **Near-term Justice Projects** in 2011. Two projects were implemented to provide additional criminal courtroom space for the new judges to be assigned to the County: the Randall Road Branch Court & Conference Center, and the new Abuse & Neglect Courtroom at the Third Street Courthouse.

The other near-term solution options studied were decided to provide less value in addressing the immediate needs and were therefore ruled out or deferred for future consideration.

2011



Near-term Justice Projects
Randall Road Branch Court & Conference Center

Randall Road Branch Court & Conference Center

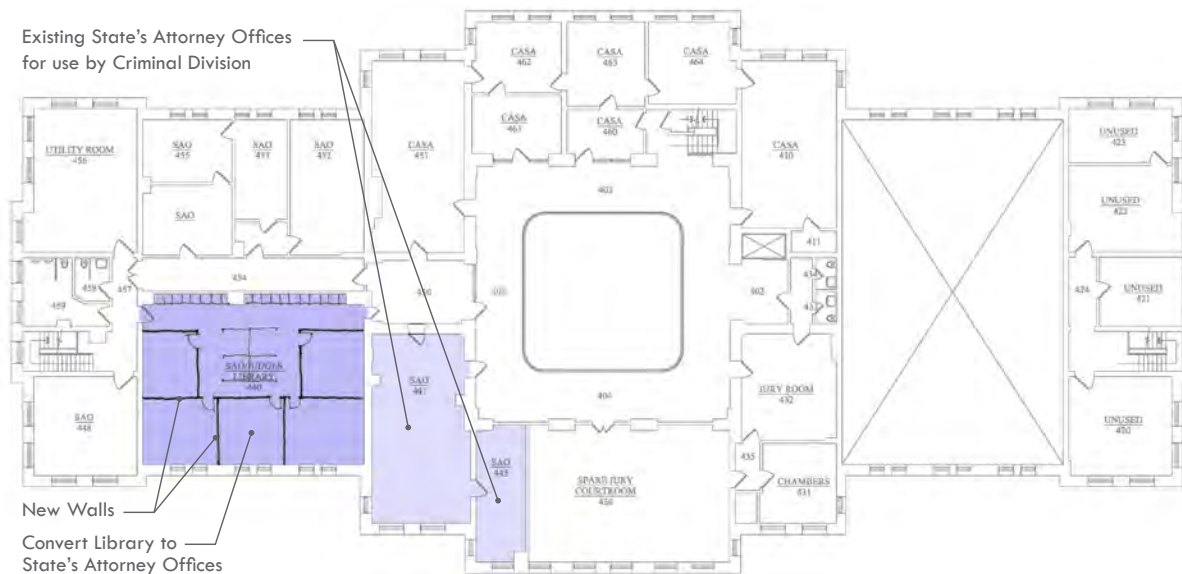


Dedicated Location for High Volume Traffic Court

The Randall Road Branch Court and Conference Center build-out within the unfinished shell space of the former Montgomery Ward building acquired by the County at 540 Randall Road allowed an additional courtroom at the Judicial Center to be used for other criminal cases.

The completion of this project not only provided another criminal courtroom, but also reduced the traffic and parking burden of high volume traffic court calls at the Judicial Center site, provided enhanced security for the Circuit Clerk at Randall Road, and, through flexible planning, provided much needed conferencing and meeting space for all County offices.

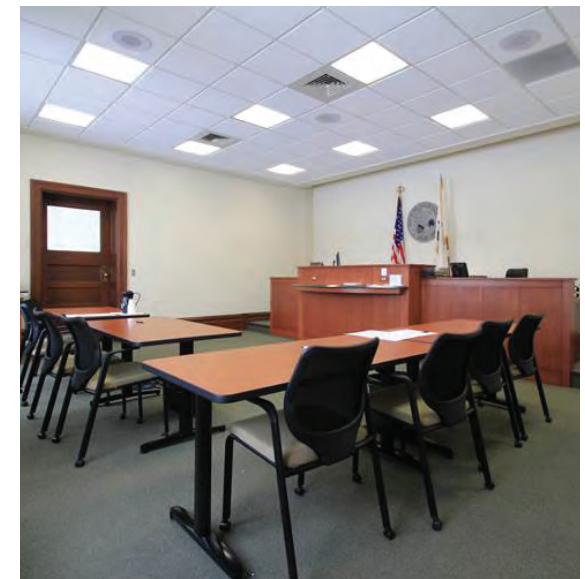
Abuse & Neglect Courtroom at the Third Street Courthouse



Renovation Increases Utilization and Available Courtrooms

The new Abuse & Neglect Courtroom at the Third Street Courthouse was developed by renovating a civil courtroom on the first floor and providing additional State's Attorney office space and other security enhancements. The relocation of the Abuse & Neglect court operation from Courtroom 005 in the Judicial Center to Courtroom 140 at Third Street provided one additional courtroom for use by a new judge.

With the movement of the criminal Abuse & Neglect Courtroom to Third Street, there was also a need to provide office space for the State's Attorney and Public Defender who support that court. An infrequently used shared law library was renovated to accommodate the additional office space for the State's Attorney civil division and the adjacent space converted to office and file space for the criminal division supporting the Abuse & Neglect Court. The Public Defender moved into office space in the annex building directly west of the Courthouse.



In addition to the strong emphasis on delivering the appropriate facilities to provide County services, the County has also maintained focus on the operations and support needed to execute innovative and high quality government services. With this attention came the understanding that the County's Judicial System was in need of a **Court Case Management System Upgrade**, being implemented in 2014.

After an extensive study of the issues, and opportunities, the County is poised to move forward with the implementation of a new integrated court case management system which will far more effectively meet the needs of the current justice system, and will position the County to continue to integrate the ever-evolving technology of the justice system.

2014

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Court Case Management System Upgrade

The County can take great pride in its long history of thoughtful planning and strategic implementation. However, in a growing area such as Kane County, the work is never done and the process of planning, implementing, and refining the plan is ongoing. The next chapter in the County's story is the **Judicial Center Expansion Planning** outlined in the County Master Plan and consistent with the leadership direction of 2010.

In order to maintain a strong level of preparedness, it is recommended that the County proceed with expansion planning of the Judicial Center to provide additional courtroom capacity and to address the already overcrowded conditions in the court agency offices. This also provides a further opportunity to enhance the operational efficiency and ease of public use through consolidation of the Circuit Clerk spaces into the expanded Judicial Center.

2015

Implementation of the Judicial Center expansion is the natural continuation of Kane County's vision and steadfast investment in facility planning. By proactively addressing critical space needs, the County will remain in control of the future, and strategically positioned to make well-reasoned and fiscally responsible facility decisions.



**Judicial Center
Expansion Planning**
Court Agency Wing Vision



Kane County, Illinois
719 Batavia Avenue
Geneva, Illinois 60134
p 630.232.3400
countyofkane.org



Wight & Company
2500 North Frontage Road
Darien, Illinois 60561
p 630.969.7000
wightco.com

Wight & Company is proud of our 25-year partnership with Kane County in the realization of a strong vision for the future. We are delighted to have served the community with great success on numerous planning and design projects including the Judicial Center, the Juvenile Justice Center, the Randall Road Branch Court & Conference Center, and multiple master plans updates.

JJC: 2nd Courtroom Buildout Proposal

- ▶ Goal: Build out a 2nd courtroom at the JJC by January 1, 2022

A “Need” not a “Want” Abuse/Neglect Filings

2017: 59

2018: 70

2019: 110

2020: 204

2021: Project 200+ (36 as of 2/28/21)

A “Need” not a “Want” Abuse/Neglect Courtroom

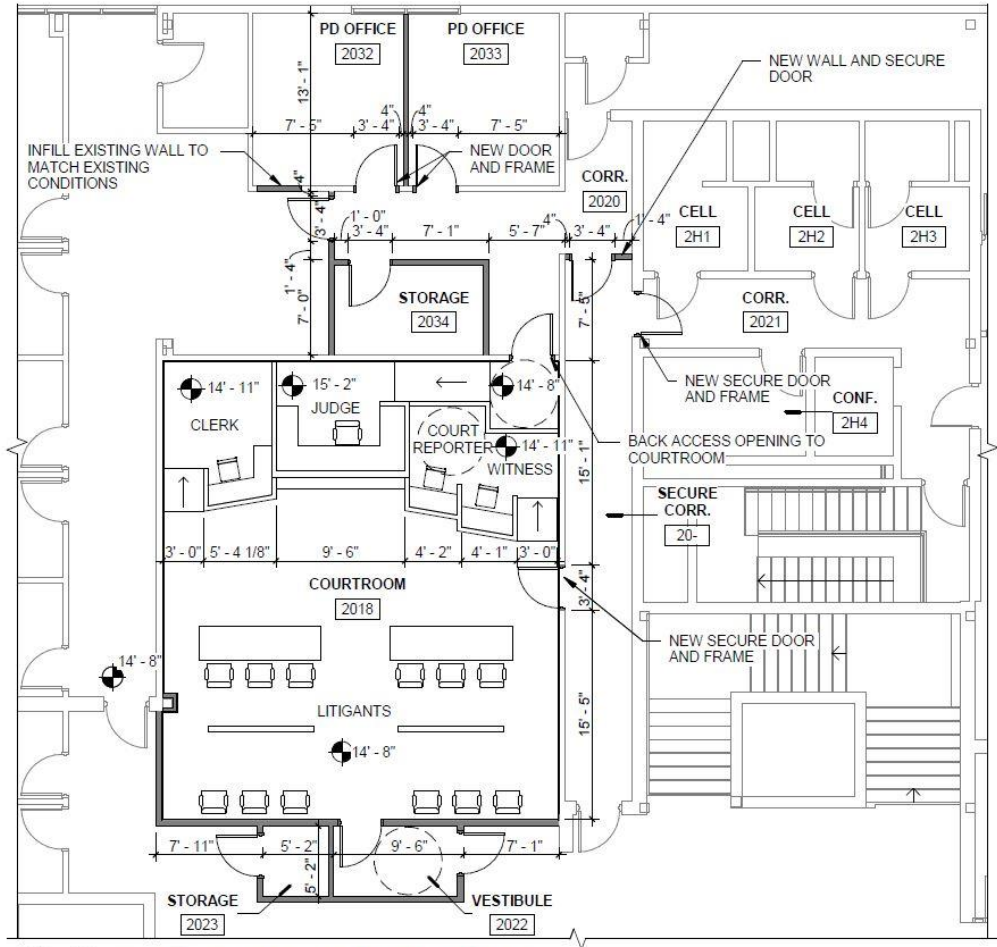
- Now: A/N: 3rd Street Courthouse (1892)
- Now: Juv. Delinquency at JJC
- Now: Dual Involved Youth - 2 Different Locations

Goal: A/N and Juv. Delinquency in the same location

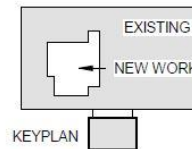
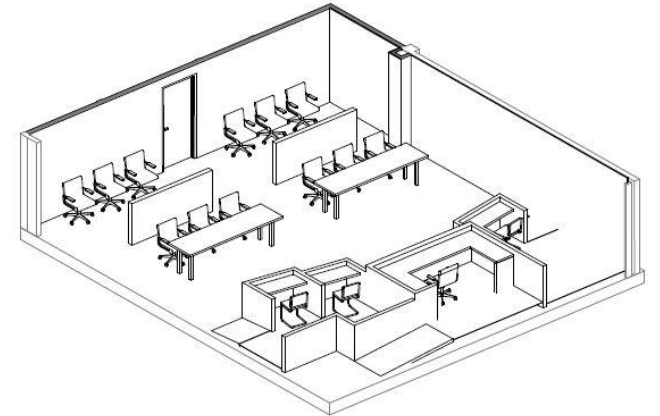
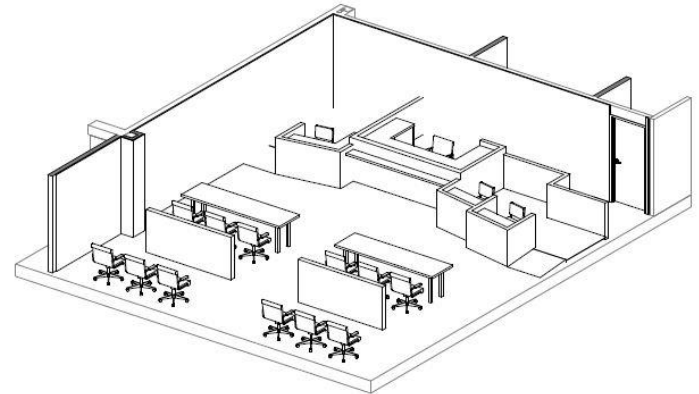
Abuse/Neglect Courtroom Projected Cost

- Cordogan Clark Sep 2020
- \$851,548* (pre-R.F.P.)
- No additional square footage added
- Use available space

Abuse/Neglect Courtroom



1 COURTROOM RENOVATION PLAN OPTION A
1/8" = 1'-0"



Abuse/Neglect Courtroom Funding Source

- Capture COVID Savings
- 1x Opportunity
- Judiciary and Courts
- Court Services
- Projected Savings 2020

Abuse/Neglect Courtroom Projected Savings/Judiciary and Courts

- Jurors and Juror Expenses
- Contractual/Consulting Services
- Bond Call
- Court Appointed Counsel
- Court Services

Abuse/Neglect Courtroom Projected Savings/Court Services

- Juvenile Board and Care
- Savings in other line items

Abuse/Neglect Courtroom

Our Request

- Authorize the use of capital funds to buildout the 2nd courtroom
- Commit \$125,000 roll-over from 2019-2020
- Remaining \$726,548 would be reimbursed through 2021 budget savings

Abuse/Neglect Courtroom Projected Timeline

- 4/14/21: Administrative Committee
- 4/28/21: Finance Committee
- 5/5/21: Executive Committee
- 5/11/21: County Board Vote

Abuse/Neglect Courtroom Questions



RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

Resolution No.

Authorizing the Buildout of a Second Courtroom at the JJC

Committee Flow: Administration Committee, Finance and Budget Committee, Executive Committee, County Board

Contact: Clint Hull, 630.232.3400

Budget Information:

Was this item budgeted? No	Appropriation Amount: \$851,548.00
If not budgeted, explain funding source: Capital Funds reimbursed by General Fund or Judicial Facilities Fund	

Summary:

The Sixteenth Judicial Circuit is asking for authorization to bid and construct a second courtroom at the Kane County Juvenile Justice Center (JJC) for abuse and neglect and delinquency cases. The estimated cost is \$851,548.00. The cost of the project would be paid with \$125,000 rollover from Judiciary's 2020 budget and the remaining \$726,548 would be reimbursed through either 2021 General Fund budget savings from Judiciary and Court Services, or the Judicial Facilities Fund.

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

AUTHORIZING THE BUILDOUT OF A SECOND COURTROOM AT THE JJC

WHEREAS, the County Board of the County of Kane has determined that it is necessary and in the best interests of the citizens of Kane County to construct a second courtroom at the Kane County Juvenile Justice Center (JJC); and

WHEREAS, Cordogan Clark is currently on retainer as the County's architectural services contractor and has provided preliminary architectural, engineering and consulting services for the design plan of the JJC. The design plan factors in the input of several key stakeholders - the Judiciary, Court Services, State's Attorney's Office, Public Defender and Building Management; and

WHEREAS, the total estimated cost for the design and construction of the JJC Courtroom for Abuse and Neglect and Delinquency has been determined to be in the amount of \$851,548.00; and

WHEREAS, the cost of the project would be paid by the use of Capital Funds as a funded budget line which will require an imminent Budget Adjustment, with a clear agreement to replenish the Capital Projects Funds with a Budget Adjustment from the later mentioned funding sources, with \$125,000 rollover from Judiciary's 2020 budget and the remaining \$726,548 would be reimbursed through either 2021 General Fund budget savings from Judiciary and Court Services, or the Judicial Facilities Fund.

NOW, THEREFORE BE IT RESOLVED that the County Board moves forward to bid the Proposal and to construct a second courtroom at the JJC at an estimated cost of \$851,548.00, including all pre-construction services, submitted by Cordogan Clark for construction of the JJC Courtroom at Peck Road and Illinois State Route 38.

Line Item	Line Item Description	Was Personnel/Item/Service approved in original budget or a subsequent budget revision?	Are funds currently available for this Personnel/Item/Service in the specific line item?	If funds are not currently available in the specified line item, where are the funds available?
	See Above	No	No	See Above

Passed by the Kane County Board on May 11, 2021.

John A. Cunningham
Clerk, County Board
Kane County, Illinois

Corinne M. Pierog MA, MBA
Chairman, County Board
Kane County, Illinois

Vote:

21-05 Buildout Courtroom JJC